

Chapter IX  
APPEARANCE CODE

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## A. INTRODUCTION

The purpose of the Appearance Code is to protect, as new buildings are built and existing buildings are renovated, the continuity and architectural heritage of Solomons in a way which reinforces the existing fabric of the town. Its role is not to reproduce any particular architectural style or to overlay some preconceived appearance on each and every structure within the Town Center.

Within that heritage today are a wide variety of styles and settings and, as a result, many different kinds of new buildings can be compatible; however, some may not. For that reason, the purpose of the code is to be selective - and often restrictive - in order to exclude buildings that would erode the historic and cultural values built up in Solomons over generations. Thus, while not trying to imitate or replicate a style no longer practical, the overall design theme of the town, as documented in this code, is consistent with the recorded older character.

The code is intended to apply to the exterior design features of new structures and alterations of existing structures; they are not written for historic restorations. This code has been designed to be expandable. It can be made more comprehensive and more specific as required. Evaluation of each building requires the judgement of the Solomons Architectural Review Committee members and/or the Planning Commission. The code provides the framework for studying the plans submitted to them. The Review Committee has to consider the full impact of each design as a whole, as well as its impact upon its neighbors.

## B. APPLICATION

The Appearance Code Criteria and Guidelines apply to all new construction, renovations and additions for buildings including the replacement of siding and change of exterior color, accessory structures (such as fences, decks and sheds) and signs.

### Exception:

Exceptions may be granted for additions to existing buildings that do not conform to the Appearance Code.



C. BUILDINGS AND ACCESSORY STRUCTURES (Other than signs)

1. CRITERIA FOR BUILDINGS AND ACCESSORY STRUCTURES (including sheds, garages, fences, decks)		
Area	South of Lore Street	North of Lore Street
Intent:	To maintain and reinforce the existing architectural character of this area.	To continue the architectural theme that has been established South of Lore Street but to allow a greater variety of interpretations of that theme.
Style	Late 19th/early 20th century ("Victorian Era")	Late 19th/early 20th century; pre-20th century; modern interpretations of pre- 20th century styles.
Building Materials	Brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with min 4" corner boards; wood or wood appearance shake or shingle siding. [Shake or shake appearance siding may be used only as architectural detail.]	Brick (in red-brown range), wood or wood appearance horizontal or board and batten siding with min 4" corner boards. Also wood or wood appearance shingle or shake, stucco, and split face block. Vertical metal may be approved for use on sides of building not visible from public roads or waterways provided quality standards are met. Colors and tones shall be muted. (See guidelines for discussion of colors).
Roof	Wood, metal or asphalt shingles in gray or brown tones.  Main roof pitch: min. 6/12 limited to gable, hipped, shed and true mansard. Gambrel and false mansard are not permitted. Dormer roofs are not subject to these requirements.	Wood, metal or asphalt shingles in muted tones.  The main roof pitch shall be a min. 6/12 limited to gable, hipped, shed and true mansard. Gambrel and false mansard are not permitted. Exceptions for shopping centers and commercial buildings may be made provided the design meets the intent as described above.
Windows, shutters and Doors	See Pages IX-139-145. Skylights visible from public roads and/or waterways not permitted. Shutters, if used, shall be sized to fit the window if closed.	Styles other than those shown on pages 139-145 may be approved provided they are compatible with the overall style of the building.




	motion.	
Fences	Chain link and stockade fencing are not permitted. Design shall be in same style as style of building.	Chain link and stockade are not permitted. Design shall be in same style as style of building.
Height, Proportion, Rhythm and Scale	See page VII-125 and Guidelines.	See page VII-125 and Guidelines.
Ornamentation & Columns	Wood or wood appearance	
Utilities and trash receptacles	Screened from public roads, waterways and adjoining properties	Screened from public roads, waterways and adjoining properties

2. GUIDELINES FOR BUILDINGS AND ACCESSORY STRUCTURES (Other than signs)

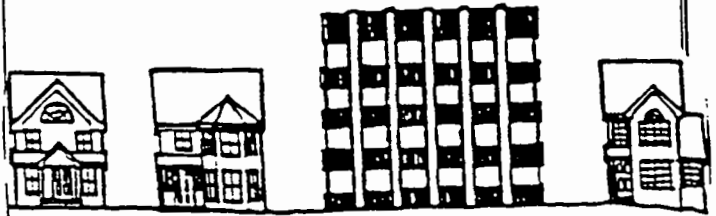
The following guidelines are to be used in conjunction with the Appearance Code Criteria listed above.

a. Height, Proportion, Rhythm and Scale

To develop compatible appearance standards, it is important to regard the entire street and the adjacent neighborhood as an ensemble which together creates the character of a place. By concentrating on the various rhythms formed by the window and door openings, by porches, by the relationship of solids and voids as you view a series of buildings, a pattern is established which will repeat in both renovation and new construction.

<p>a.1 HEIGHT - New buildings should conform to the average height of the adjacent buildings. Also see page VII-125.</p>	
<p>i. Relate the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings on and across the street.</p>	
<p>ii. Avoid new construction that greatly varies in height from older buildings in the vicinity.</p>	
<p>a.2. PROPORTION - The proportion, or the relationship between the width and height of the front elevation of the building, should be similar to the adjacent buildings. Proportion can also apply to the relationship of the windows and doors to each other and their relationship to the building itself.</p>	
<p>i. Relate the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary expression of the streetscape.</p>	

ii. Avoid strongly horizontal or vertical facade expressions unless compatible with the character of the structures in the immediate area. The new building shown does not relate well to either its neighbors or the rhythm of the streetscape because of its unbroken facade.



a.3. RHYTHM - The rhythm of the buildings and their components is the spacing or repetition of architectural elements or details with like elements. The regularity and frequency of elements such as doors, windows, or porches, and their placement with a facade, is a type of rhythm. Rhythm between buildings can exist in when building types are repeated along a street. Regular and constant rhythms between buildings and components can help unify the streetscape.

i. Respect the recurrent alternation of wall areas with door and windows elements in the facade. Also consider the width to height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition and symmetry should be carefully studied. In Solomons, windows were treated as openings punched into the flat planes of the walls. There is a typical proportion of rhythm to their placement. Window widths were typically in the range of 28" to 30". Window height is usually twice the width. Spacing between windows was usually equal to the window width, and up to twice that width.



ii. Avoid introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. Glass walls and windows and door shapes and locations shown in the example are disrespectful to the adjoining buildings.



a.4. SCALE - Scale is the relationship between architecture and man or between the architectural mass and the space which surrounds it. The scale of the Town Center should be intimate in nature. Any buildings built on a monumental scale will seem out of place.

i. Relate the size and proportions of

new structure to the scale of adjacent buildings. Although much larger than its neighbors in terms of square footage, the building shown maintains the same scale and rhythm as the existing buildings.



ii. Avoid buildings that in height, width, or massing violate the existing scale of the area. The new building shown disrupts the scale and rhythm of the streetscape, although it might be appropriate in a different location.



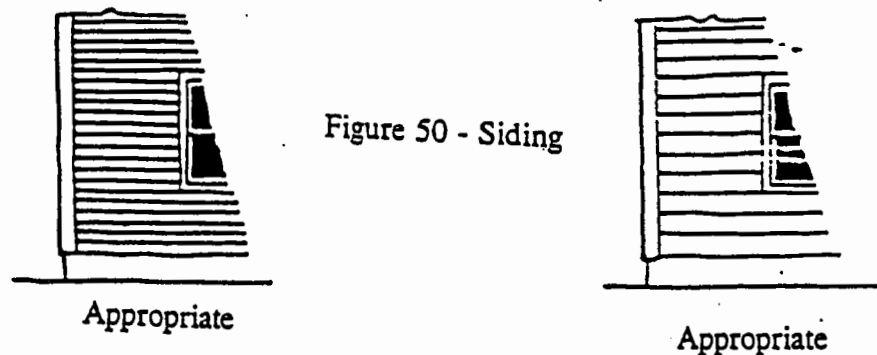
b. Building Materials

Clapboard Siding

Clapboard siding including German lap siding, is the predominant exterior siding on Solomons, and its proper use and repair should be encouraged. It was the most common facing of the wood frame buildings in the part of the country and is still being used with success in new construction today. It is the material of choice, wherever possible, for new construction in Solomons.

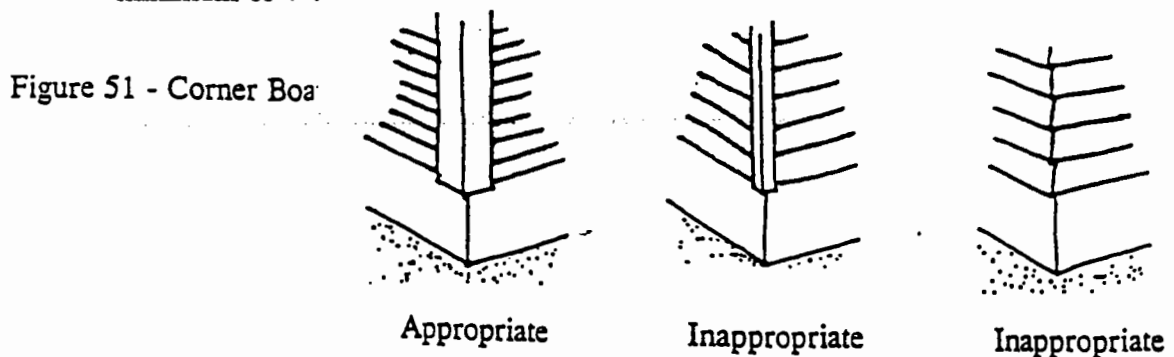
In clapboard siding, the horizontal wood strips overlap to keep out the weather, and in doing so cast continuous shadow lines across the facade. Board and batten was traditionally used in accessory structures and is still encouraged. However, plywood siding (example T-111) is discouraged.

When wood siding is used, the spacing of the clapboards should be as close as possible to the original, as illustrated in the following drawings:



The maximum exposure shall be a 6" reveal to the weather. Note how the apparent scale of the wall has changed because of the wider use of the siding overlap, which also affects the texture of the wall surface.

The corner treatment of siding is important because a wide corner strip was typical in the original construction. The later feature of mitering the corners, or using a small corner board, does not have the same effect and does not frame the wall properly. This is shown in the following drawings. Corner boards should be a minimum of 4".



## Brick Siding

When brick is used in new construction, the color should be in the red-brown range, not yellow, gray, or salt and pepper. Further, when it is used as a building material, it must follow the structural requirements of masonry bearing walls, and not be suspended above ground.

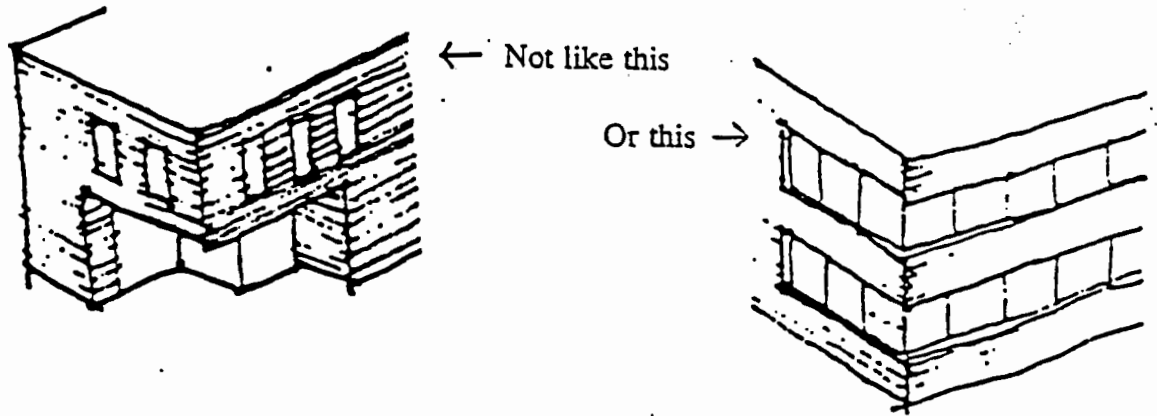
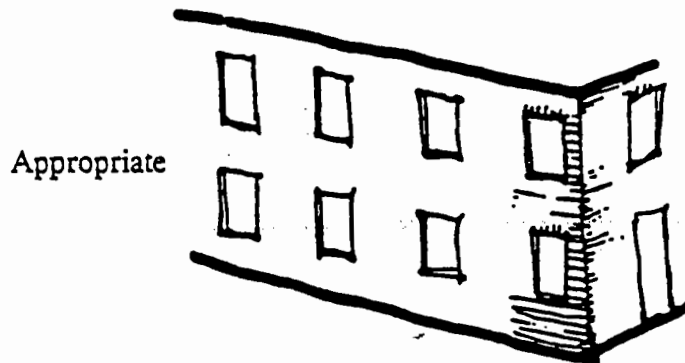


Figure 52

Brick was never used to build a structural frame of columns and beams. It was used to form load-bearing wall with "punched" openings and larger solid structural piers.

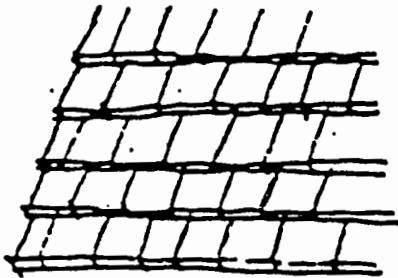


c. Facade and Roof

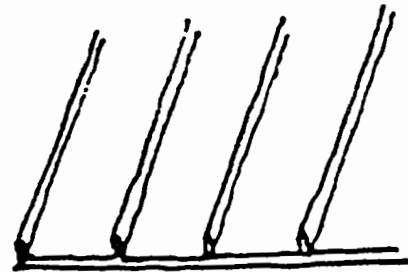
In the late 19th century, when Solomons was thriving as a fishing and boat building center, most of the homes were white, ivory, light gray or blue gray, often with dark green trim.

Generally, the use of more than two colors on structures detracts from the appearance. However, some skilled designers can make multicolored schemes work, and the Appearance Review Committee will have to judge on a subjective level, the appropriateness of a proposed color scheme depending on the context.

Since the higher pitches of roofs on Solomons make these roofs more visible from the street and water, care must also be used in selecting appropriate roofing materials. While wood shingles and metal roofs were probably original, asphalt shingles can be used if the colors are chosen in the dark grays and browns, and are selected with an eye toward the building colors.



Shingles



Standing seam

Roof materials were typically

Lead or copper (early)

Tin, standing seam (later)

Figure 53 - Roof Materials

d. Window Details

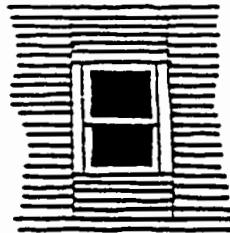
Windows help establish the basic character of a building and the glass divisions as well as the surrounding trim are details which either assist an building in fitting into its surroundings or make it stand out as inappropriate. (See also Height, Proportion, Rhythm and Scale)

Appropriate sash for this area is double-hung, (or single-hung in new windows), with mullions as shown in the illustrations below or bay windows with mullions. Casement windows with mullions are also appropriate.

Right and wrong examples of window treatments are shown below, both in regard to re-sizing a window (which is extremely difficult to carry off successfully), and in replacing an existing window with a new model.



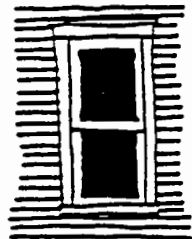
Appropriate



Inappropriate



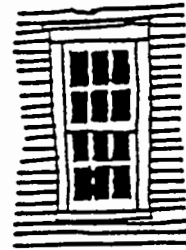
Inappropriate



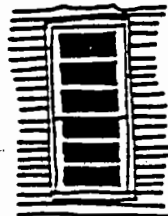
Appropriate



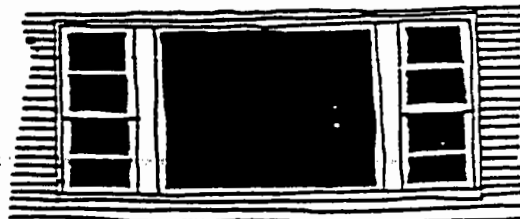
Appropriate



Appropriate



Inappropriate



Inappropriate

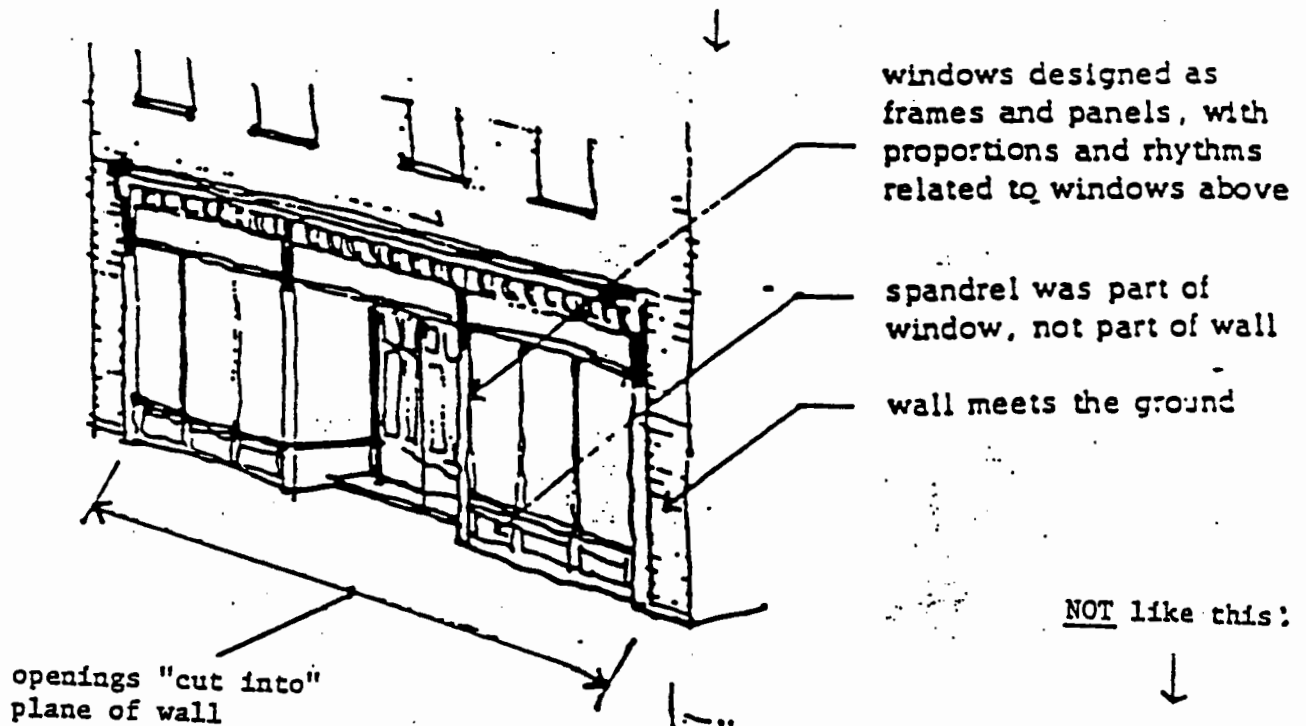
Figure 54 - Windows in Solomons

The "modern" window treatment as shown below doesn't belong in a renovated building or in new construction which hopes to be compatible with and respect its historic context.



Figure 55 - Windows

When a large window was needed, for example a show window in a store, it was designed like this:



NOT like this:

windows designed as a single plane with subdivision minimized

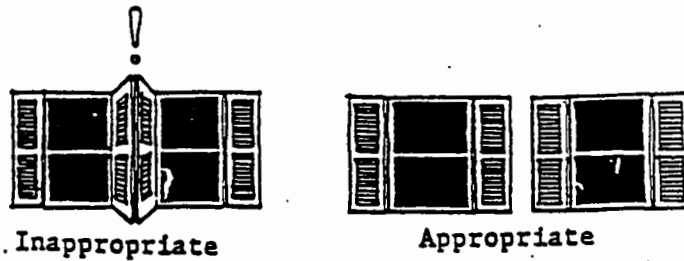
Figure 56 - Commercial Windows

## Shutters

A glance at the older photos on the preceding pages will show very successful uses of shutter and trim around windows. Appearance Code criteria state that they shall look as if they could, if closed, cover the window. Even if the shutters are fixed in the open position, they should be sized right. The following examples will illustrate this principle.



Figure 57 - Shutters



### e. Doors and Entryways

Doors and entry treatment in the historical buildings were distinguished by several characteristics. Transoms over the doors were a very common feature as were the double glass sidelights on either side of the entry door.

Trim and moldings were not very ornate, but were generally built up of flat molding strips to give some bulk to the surroundings and frame the door openings. The door itself generally had one large glass light in the upper half and several recessed panels below.

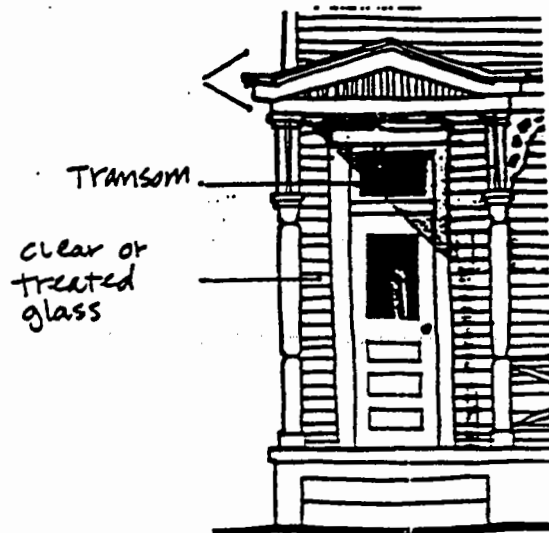
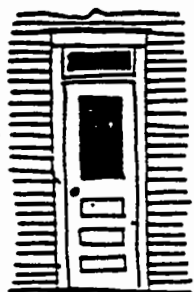
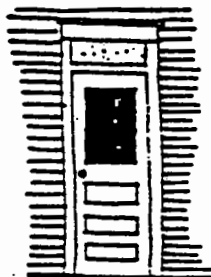


Figure 58 - Door & Entryway

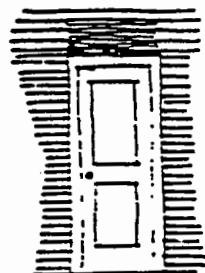
The following illustrations show some examples of renovation techniques both successful and unsuccessful in dealing with entry doors.



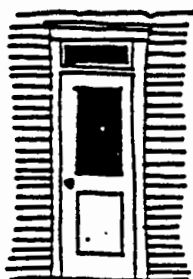
Appropriate



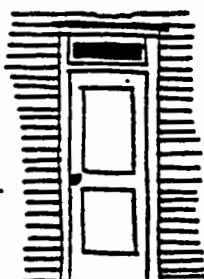
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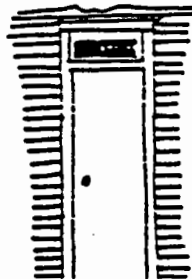
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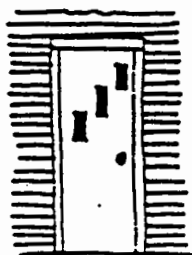
Appropriate



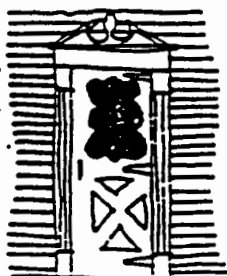
Appropriate



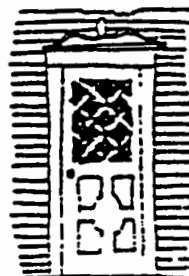
Inappropriate



Inappropriate



Inappropriate



Inappropriate

Figure 59 - Door Treatment

f. Ornamentation

Eave and entry ornamentation are not very common on Solomons except for some notable examples at the Churches and some of the large Victorian houses south of Lore Street on Solomons Island Road.

The primary ornamentation seems to be in the construction of porches, with turned columns, highly decorated brackets, and delicate balustrades. These features have been applied successfully to fairly simple house types with a very pleasant result.

The following illustrations show examples of early Solomons decorated porches, along with some guidelines for replacing porch columns.

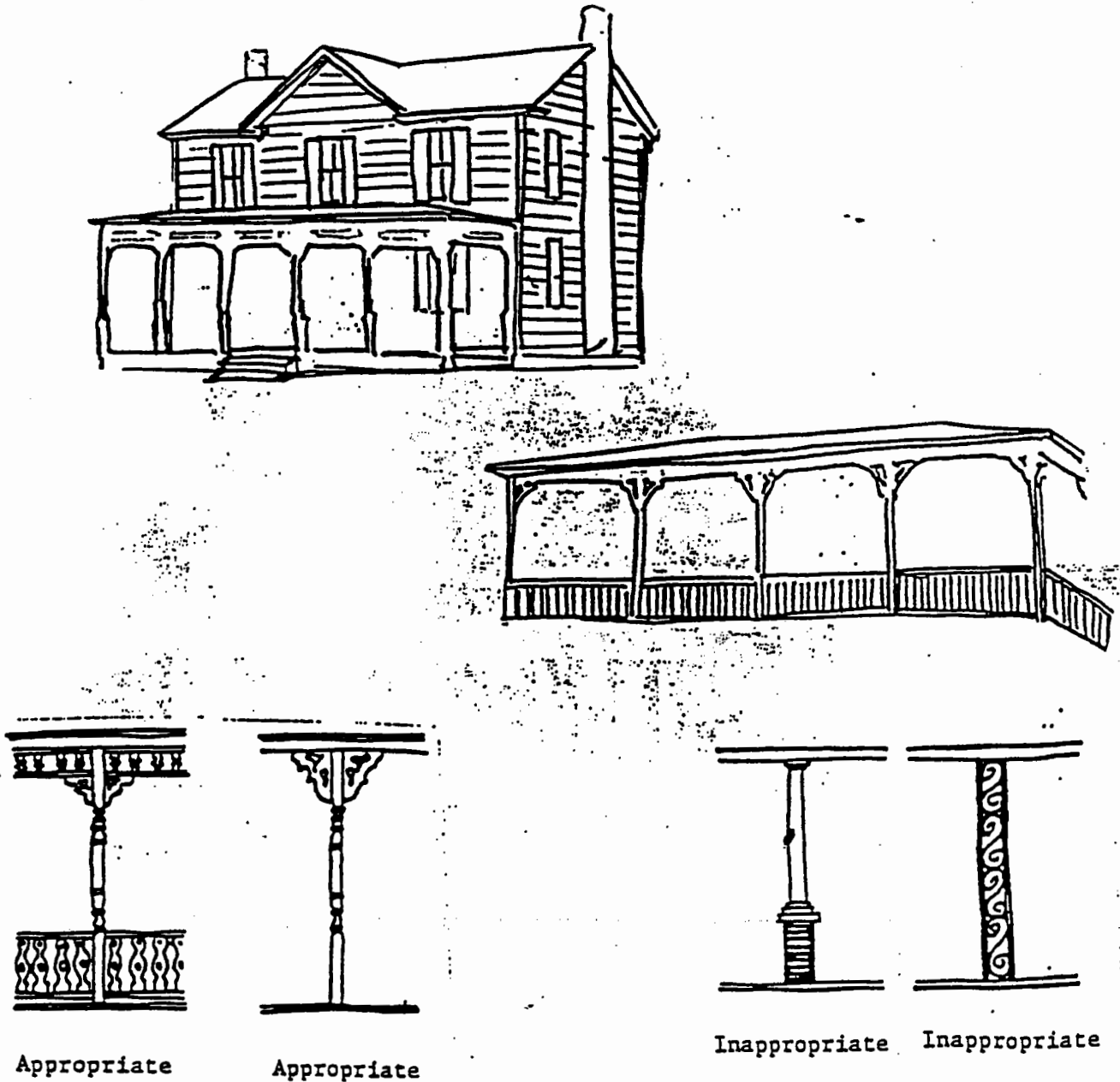


Figure 60 - Porch Ornamentation

g. Rooflines and Pitch

A review of the old photos taken in Solomons and a walk around Avondale and the commercial district will show the preponderance of steeply pitched roofs on the Island.

Dormers were frequently used to allow habitable space in the roof area, and they provide an attractive feature on the older buildings.

One example of a turreted roof exists on Solomons Island Road, and a comparison of the present day appearance with a photo taken during construction shows that the house has retained all of its original charm.

The Appearance Code Criteria requirement that main roof pitches be in the range of 6/12 to 12/12 (i.e., 6 to 12 feet of vertical rise in twelve feet of horizontal run). This ensures a roofline compatible with most of those existing in the historical period. Some dormer roofs are flatter, but the overall appearance will be of a rhythm among the structures in an area. The following photos and drawings illustrate some typical Solomons examples along with additional buildings appropriate to the overall design guidelines.



Figure 61 - Historic House - Solomons



Figure 62 - Rooflines in Historic Solomons

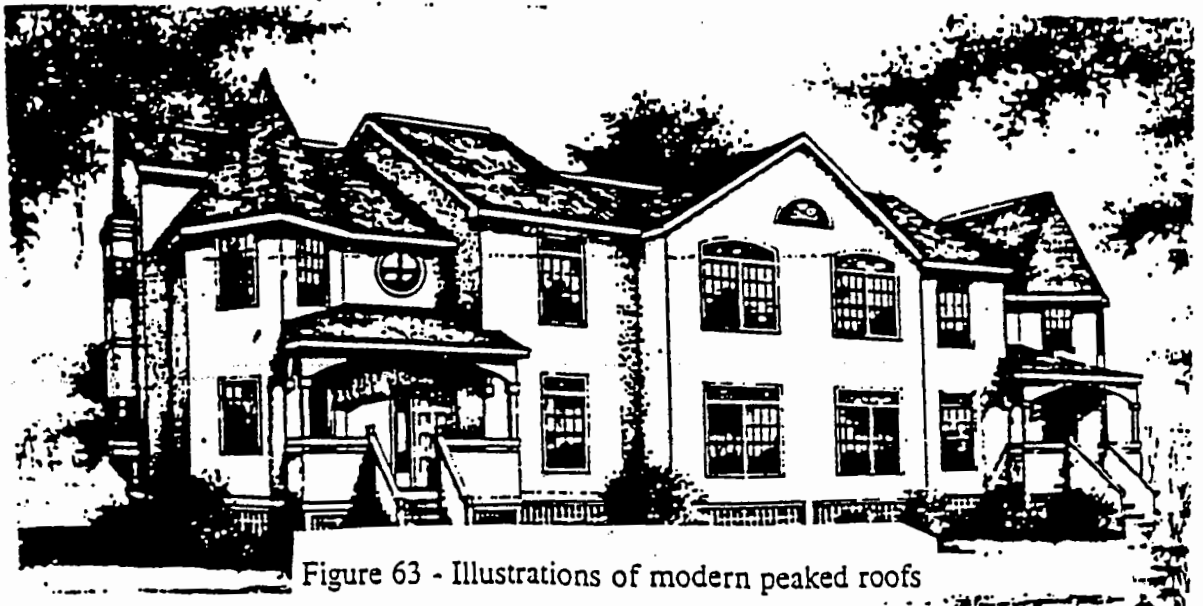


Figure 63 - Illustrations of modern peaked roofs

h. Accessory Structures

**Sheds and Garages:** The Appearance Code Criteria require that sheds and garages shall meet the same criteria as primary buildings in terms of style, materials and roof pitch.

**Fences, Screens and Decks:** Structures such as screen walls, fences or decks should not detract from the original buildings, and, in fact, should be designed to complement or even enhance the design of the main building. If garden walls and fences are used for privacy, they should contribute to the continuity of the streetscape.

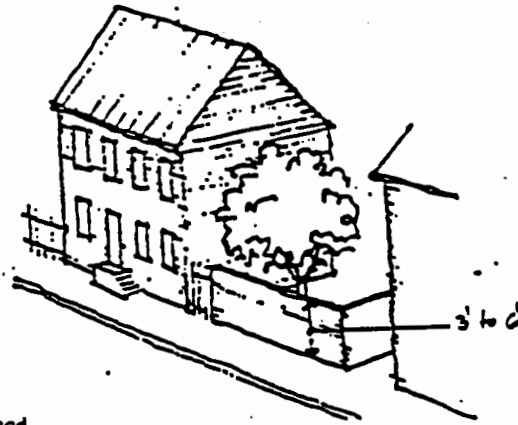
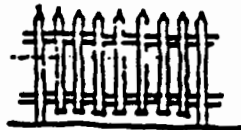


Figure 64 - Fences

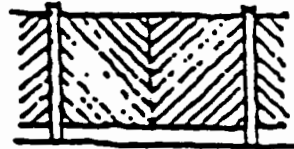
**solid  
plain boards**



**or with spacings  
like picket fence**



**not patterned or  
diagonal boards**



**not uneven tops or  
stockade**



i. Lighting

Exterior lighting should not be competitive with the surrounding lighting. Exterior lighting fixtures should be designed to be in harmony with the character of the building and its surrounding buildings.

Fully recessed downlights or wall washers in projecting metal boxes, which run the full length of the sign area, are appropriate, as are shielded fluorescent lamps with diffusers.

Gooseneck incandescent, porcelain enamel reflectors on bent metal tube arms are also appropriate.

#### D. SIGN CRITERIA

1. Illuminated signs shall be shielded so that no direct rays of light shall cause glare or reflection on any portion of an adjacent highway or residential building.
  2. No sign shall have moving parts or project any intermittent or flashing illumination except signs that indicate time and temperature.
  3. No sign shall be displayed which uses the words "Stop" or "Danger" or presents or implies the need or requirement of stopping or the existence of danger as part of an advertising sign.
  4. No sign shall be located which will interfere with traffic visibility on the right-of-way of any road or on any slope or drainage easement of the road.
  5. No sign shall be permitted which contains statements, words or pictures of an obscene character.
  6. No sign shall be placed on rocks or trees. No sign shall be placed on poles maintained by public utilities except as permitted under Section N.2.c.i. entitled "Banners".
  7. Portable signs are not permitted except as provided below:
    - a. The sign is a portable "sandwich board" style.
    - b. The sign does not exceed 12 sq. ft in size per side.
    - c. The design receives architectural review approval.
    - d. The sign is located on the property upon which the business is located.
    - e. The sign is located south of Lore Street.
  8. No sign shall be permitted which becomes unsafe or endangers the safety of a building, premise, or person. The Zoning Officer shall order such signs to be made safe or repaired or removed, such order to be complied with within 15 days of the receipt of such order.
  9. When a billboard does not include advertising information for a period of 120 continuous days, such sign structure shall be deemed a violation and shall be removed.
  10. Nonconforming signs shall be removed when the business, which is advertised on such a sign, relocates or ceases to exist. Nonconforming signs shall not be used by a new owner or tenant. Removal shall be the responsibility of the owner of the property on which the sign is located.
  11. Unless determined by the Zoning Officer to be safe at a lesser distance, the setback from the right-of-way shall be a minimum of ten feet.
- Exception: Any sign which is attached to the ground located on a minor arterial road and within 40 feet of the side lot line shall adhere to the front yard requirement for the district in which it is located. If located on a collector or local road and within 30 feet of the side lot line, the sign shall conform to the front yard requirement for the district in which it is located.

## 12. Building Sign Design

a. Every building sign shall be designed as an integral architectural element of the building and shall be compatible with the building and neighboring buildings in terms of height, proportion, rhythm and scale. (See guidelines)

b. Signs on buildings shall not obstruct architectural features of the building. Signs shall not be mounted on roofs, extend above the roofline or above the second story of the building. (See guidelines).

c. All individual signs for tenants within a single building, shopping center, office complex, commercial park or business center shall be uniform in design. Uniformity shall be generally defined as:

- a) having the same (or similar) dimensions and proportions and
- b) having one background color and
- c) being of the same material.

Other approaches to uniform design may be approved subject to a recommendation by the Architectural Review Committee. Logos may be incorporated into the design.

## 13. Freestanding Sign Design

a. Every freestanding sign shall be compatible with the building(s) to which it relates in terms of style, colors, proportion and scale.

b. All individual signs on the same freestanding base shall be uniform in design. Uniformity shall be generally defined as:

- i) having the same (or similar)

- dimensions and proportions and
- ii) having one background color and
- iii) being of the same material.

Other approaches to uniform design may be approved subject to a recommendation by the

Architectural Review Committee. Logos may be incorporated into the design. Reader boards, when included, shall be part of the overall design of the sign.

c. Maximum Height for Freestanding Signs: 10' from the ground to the top of the sign structure. Minor increases in height may be granted in cases where a unique topographic condition would otherwise impair visibility of a sign or in cases where an architectural element is deemed by the Architectural Review committee to improve the overall appearance of a sign.

d. The base of the sign shall be designed as an architecturally integrated element of the sign. Signs with a single central pole ("lollipop signs") are not permitted.

e. The number of graphic elements (i.e., words and symbols) on a freestanding sign shall be held to the minimum needed to convey the sign's major message. A rule of thumb is to limit the number of syllables and symbols to 10.

f. One freestanding sign is permitted per site. The Planning Commission may, upon recommendation by the Solomons Architectural Review Committee, permit additional freestanding signs in cases where the site is very large (more than 1000 ft. of road frontage) provided that signs are architecturally integrated with each other and with the site. Freestanding signs shall not be located within parking lots.

14. Materials and Lighting for Building Signs and Freestanding Signs

a. North of Lore Street:

i. Materials: Any non-reflective, matte finish materials may be approved provided they meet the design criteria listed in this ordinance.

ii. Lighting: The following types of lighting may be used to illuminate signs:

. external lighting projecting onto the sign face.

. internal lighting projecting onto a wall or sign face to create a halo effect behind letters ( i.e., "reverse channel" or "halo lighting").

.internal lighting, provided that the sign face is opaque and only the letters and logo are illuminated. In no case may the illuminated portion of the sign exceed 35% of the sign face.

iii. Exceptions: internal lighting projecting through the sign face may be approved for information boards located adjacent to drive-through lanes and sized and designed for the use of drive-through costumers only (example: menu boards).

b. South of Lore Street:

i. Material shall be limited to wood or wood appearance for the sign face. Materials other than wood may be approved for signposts and frames provided they meet the design criteria listed in this ordinance.

ii. Lighting for signs shall be limited to

external light sources projecting onto the sign face.

iii. Exceptions:

(a.) Banners and banner display poles sponsored by a governmental agency may be permitted provided that they are recommended for approval by the Solomons Architectural Review Committee and are comprehensively planned and designed to ensure continuity throughout the Town Center.

(b.) Awning signs are permitted provided the lettering is limited to one color.

## 15. Maximum Sign Area

The dimensions of any given sign or collection of signs shall be approved on the basis of proportion, scale and compatibility with the surrounding area (see L.1. L.2. M.1 and M.2) but may in no case exceed the size limitations listed in Table 1 below. Freestanding signs are included in the computation of maximum square footage for any given site.

TABLE 1: TABLE OF MAXIMUM SIGN AREAS

Length of Front building Wall (ft)	Maximum Square Footage of Sign (sq.ft.)
10-19	30
20-29	40
30-39	70
40-49	90
50-50	110
60-69	125
70-79	140
80-89	155
90-99	170
>100	See Note 3 Below

Notes:

1. Fractions will be rounded off to the closest integral number.
2. A cumulative measurement shall be taken for businesses sharing party walls.
3. For building walls which are longer than 100 feet, add one square foot of signage for every linear foot over 100 feet.
4. Signage shall be calculated for the length of each building wall that has a public entrance and/or is visible from a public road and the signs shall be located only on that side of the building.
5. Buildings with separate businesses on two or more stores may be permitted up to 50% more signage.
  - a. For businesses having no permanent buildings, a maximum of 50 square feet of signage is permitted.
  - b. On a corner lot, the building wall facing each road shall be used to compute the square footage for signage on that road.
6. The size of a freestanding sign is considered to be the size of the sign face.

## 2. Guidelines

When signs were added to buildings, they were made part of the overall architectural composition of the buildings. The basic building block with its corners was maintained.

Signs were in scale with building elements and complemented rather than overwhelmed the building.

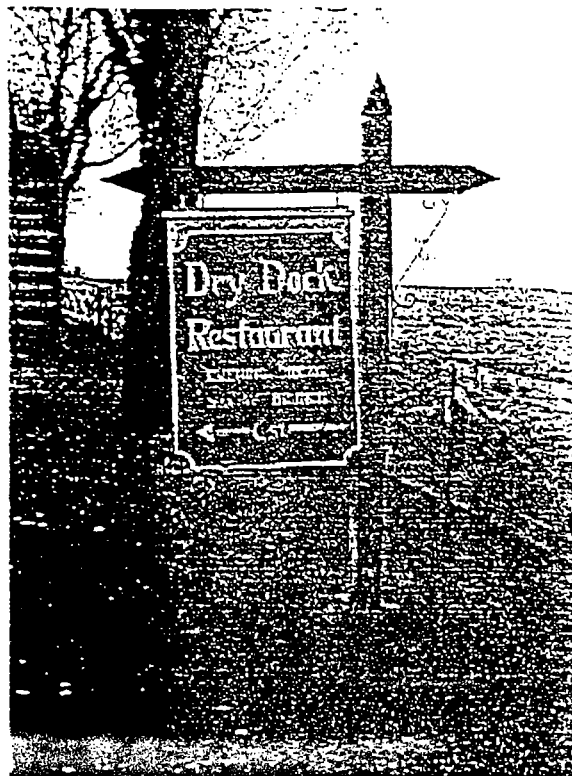
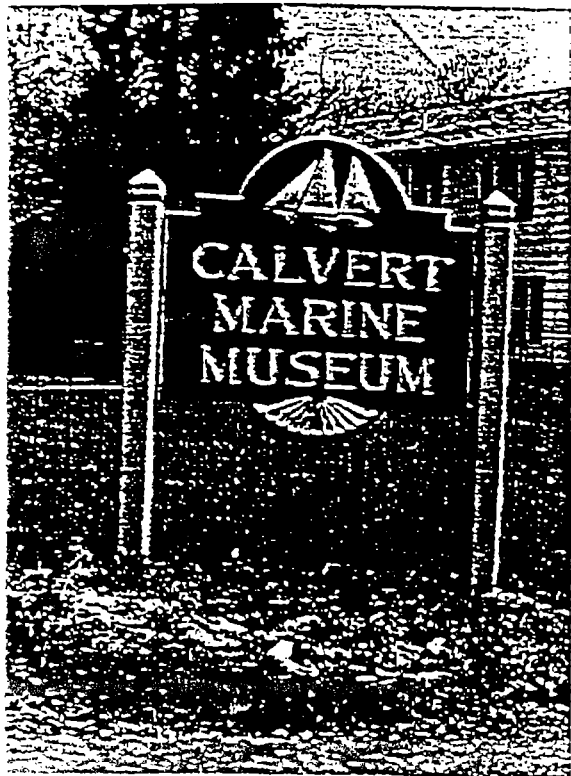
Signs were related to architectural features of the facade, usually the entrance.

South of Lore Street, signs were designed to be read by pedestrians, and not by people driving past at 30 miles an hour.



Figures 65 - Signs

There is a need for controls on commercial signage to eliminate a great deal of visual clutter. These drawings are examples of appropriate types of commercial signs.



(05/01/06) E. Architectural Review Committee

1. Composition:

The Committee shall be composed of five members. Priority shall be given to the appointment of members who reside or work within the Town Center. At least one member shall be an owner of a business located within the Town Center and at least one member should be a resident who is not connected with a business within the Town Center. At least one member shall have experience in architecture, landscape architecture, historic preservation, urban design planning, engineering or related fields. Priority may be given to those who have participated in the master planning process. Exceptions in the criteria listed above may be made by the Board of County Commissioners in the event there are not enough qualifying applicants.

2. Tenure:

The initial Committee appointed by the County Commissioners shall serve for two-year, three-year and four-year terms. Thereafter, members shall serve for four years and may be reappointed by the County Commissioners. The composition of the Committee shall remain as above.

3. Officers:

The Committee shall elect a Chairman and Vice-Chairman bi-annually. The Chairman and Vice-Chairman may be a Committee member or staff may be elected Chairman-pro-tem without voting authority. The Chairman-pro-tem may assign the Chairmanship as needed in his/her absence.

4. Meetings:

The Committee shall hold regular meetings monthly unless otherwise determined by the Committee Chairman or, in the Chairman's absence, the Vice-Chairman. In addition, the Committee shall be on call to review development proposals. Three members shall constitute a quorum.

5. Jurisdiction:

The Committee shall have authority to review site designs and external design features of buildings, structures other than buildings and signs for public, quasi-public, commercial, residential, industrial, multi-family or mixed use development. The Committee shall make judgments on the external design features based on the requirements of the Solomons Master Plan and Zoning Ordinance.

The Committee shall not have authority to approve site plans, including landscaping plans. Site plans shall be approved as set forth in the Zoning Ordinance and Town Center Master Plans.

The Committee shall have authority to review existing rules and regulations governing landscaping and site design and make recommendations to the Planning Commission.

The Committee shall also review proposed plans for public amenities such as public squares, landscaping plans, signs, and street furniture and shall make recommendations to the Planning Commission and Board of County Commissioners.

F. Review Process for Projects Requiring Architectural Review

1. Submittal of Applications:

Applicants for architectural review shall submit an application form together with required illustrations to the Department of Planning and Zoning a minimum of five days prior to the Architectural Review Committee meeting. Forms and list of specific requirements are available at the Department of Planning and Zoning. Applicants are strongly encouraged to submit their plans as early as possible in order to avoid any delays or revisions.

2. Review Procedure:

The Solomons Town Center Architectural Review Committee shall review applicable projects in accordance with the provisions of this Ordinance and make recommendations in writing to the Planning Commission. The Planning Commission may delegate authority to its Chairperson or its Secretary to approve design features that are both consistent with the Master Plan and its Zoning Ordinance and comply with the recommendations of the Architectural Review Committee.

3. Participation in Meetings:

Applicants or their representatives are required to attend and participate in discussions concerning their proposed projects. Projects will not be reviewed unless the applicant or a representative is present at the review meeting except upon request of the applicant.

4. Appeals:

Any appeal from a decision of the Planning Commission for architectural review of a project associated with a Category I Site Plan (See Section 4-2.01.B.3 of the Calvert County Zoning Ordinance) shall be noted in the Circuit Court for Calvert County. Such appeal shall be taken according to the Maryland Rules as set forth in Title 7, Chapter 200, as amended from time to time, within 30 days of the Planning Commission's decision. Any appeal from a decision of the Planning Commission for architectural review of any project other than those associated with a Category I Site Plan may be appealed to the Board of Appeals. Such appeal shall be made in accordance with Section 11-1.04 of the Calvert County Zoning Ordinance within 30 days of the Planning Commission's decision.

5. Enforcement:

Building Permits may not be issued until architectural approval is obtained. Failure to obtain a building permit for a use requiring permits and/or failure to comply with the requirements for architectural design is subject to the provisions in Section 1-7 of the Calvert County Zoning Ordinance.