

# St. Leonard Master Plan Update



January 22, 2008  
St. Leonard  
Elementary School

# Tonight's Agenda

- **Review Master Plan update process**
- **Briefly review current Plan**
- **What has been accomplished**
- **Review existing Plan goals**
- **Identify concerns and issues**

*Our Town Centers are attractive, convenient, and interesting places to live, work, and shop*

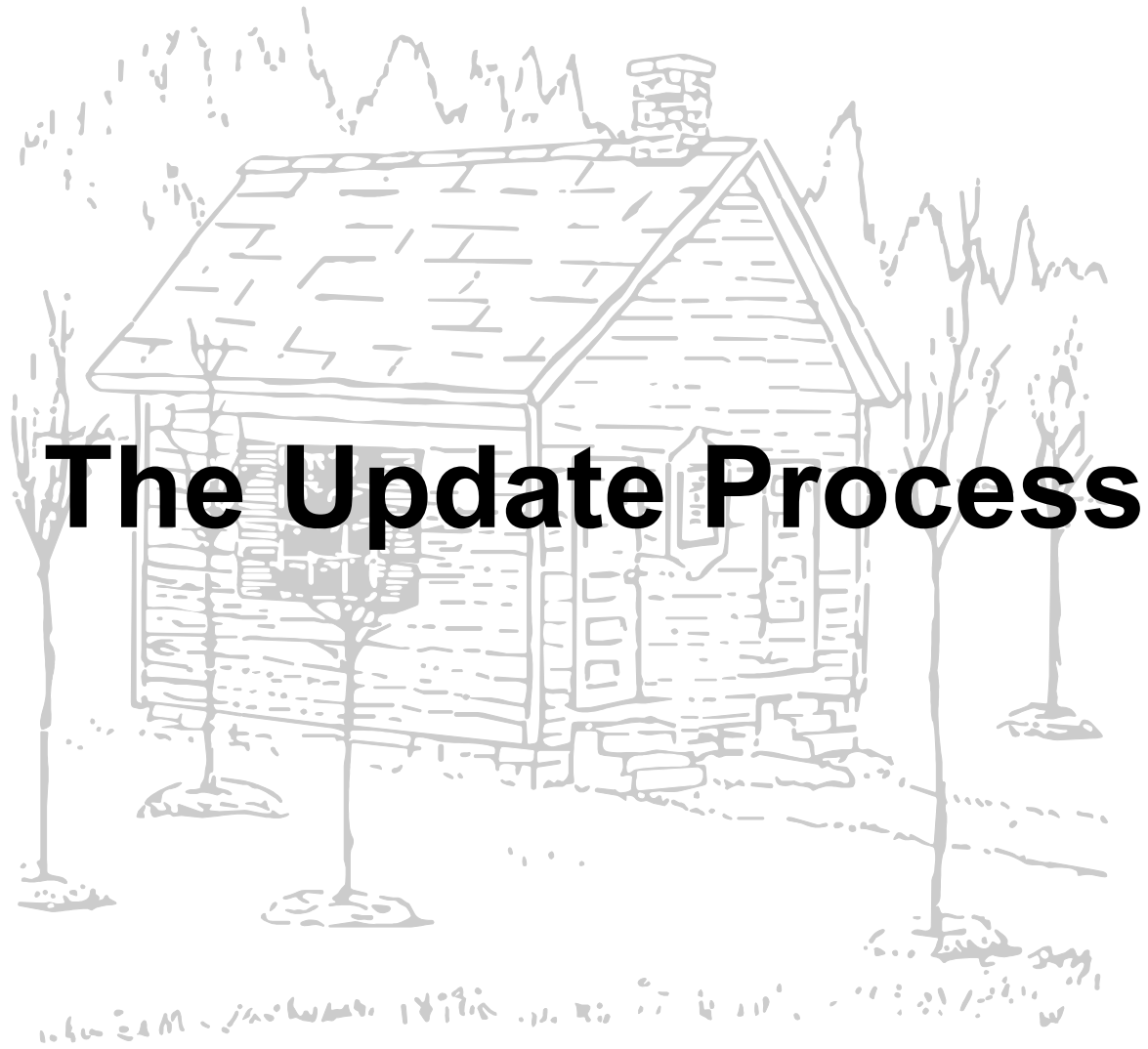


**Threats to the Vision:**

- Lack of adequate roads, sidewalks, public water and sewer.
- High development costs.
- Inability to attract households representing a broad range of incomes.
- Unsightly development.

**Action Highlights:**

- Provide planned roads, sidewalks, public water and sewer.
- Remove unnecessary impediments to growth.
- Provide parks, community centers, and public amenities.
- Continue architectural review.



# The Update Process

*St. Leonard Polling House  
Circa 1920*

# Public Involvement

- Tonight is the beginning, not the end
- Public participation is important at all stages
- There will be opportunities to provide input throughout the process

# Plan Update Process

- Maryland State law directs the Planning Commission to create plans
- Plans recommended to the BOCC for adoption
- June 2009 target completion

# Process, cont.

- Master Plan
  - Citizen review of goals and concerns
  - Additional public meetings for feedback and further input
  - Possible special study
  - Update Master Plan
  - Bring Plan back to Public, PC and BOCC
  - Public hearing and adoption

# Process, cont.

- Zoning Ordinance
  - Citizen review of Zoning Ordinance (ZO)
  - Additional public meetings for feedback and further input
  - Analyze Master Plan (MP) to see what ZO changes are needed to support MP
  - Update Zoning Ordinance
  - Bring Ordinance back to Public, PC and BOCC
  - Public hearing and adoption

# Near-term Next Steps

- Prepare summary report of tonight's meeting results
- Present results to community and Planning Commission
- Meet with community February 26, (snow date of February 28)
- Walking tour of portions of St. Leonard



# Brief Review of the Current Plan

*St. Leonard Polling House  
Circa 1920*

# Purpose of Town Center Master Plans

- Present comprehensive policies and guidelines
- Direct future growth and development
- Protect and enhance residential areas
- Encourage compatible commercial and retail development
- Preserve heritage and character

# Summary of Plan - Background

- Originally adopted September 19, 1995
- 1983 Comprehensive Plan called for development of Town Centers. St. Leonard is a minor Town Center
- Result of extensive public participation process conducted in early 1990s



# Summary of Plan - Plan Goals

- Improve road circulation and traffic safety
- Promote an attractive image for the Town Center
- Maintain a high level of environmental quality
- Provide adequate public facilities

# Summary of Plan - Components

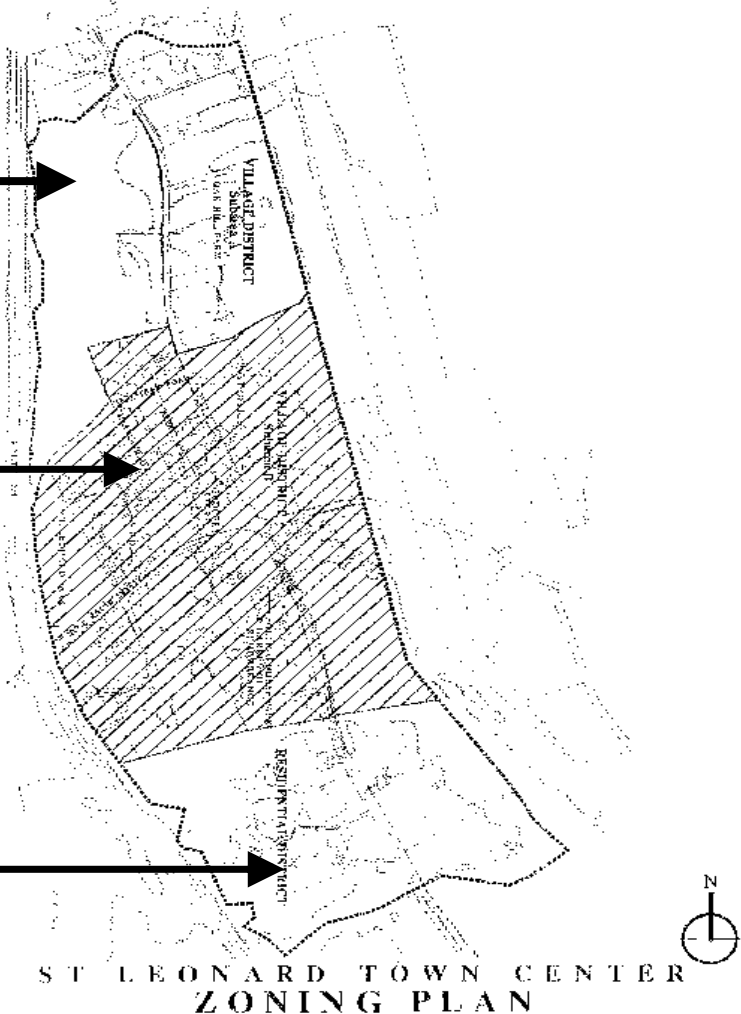
- Land use objectives identified by District based on environmental considerations and desired development
- Recommended Land Use Policies to implement these objectives
- Recommended infrastructure improvements to support land use and development policies
- Recommended an Architectural Review Committee to promote good design

# Land Use Districts

Village District  
Subarea A

Village District  
Subarea B

Residential District



# Village Subarea A

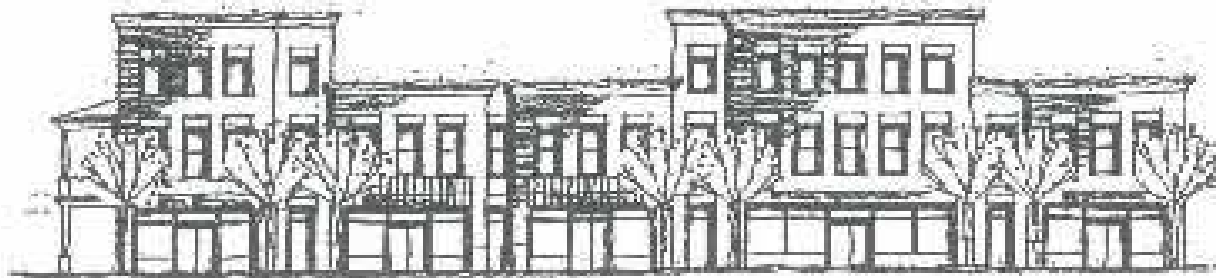
- Intent is to maintain image of an attractive gateway into the center of town, while allowing for a wide variety of uses
- Preserve visual integrity of Oak Hill Farm

# Village Subarea B

- Intent is to maintain and enhance the image of a traditional small town, featuring a compact arrangement of buildings and streets
- New developments shall be laid out in a traditional grid pattern
- Development along 765 should continue the pattern of closely spaced commercial buildings lined up along the sidewalk

# Village Subarea B

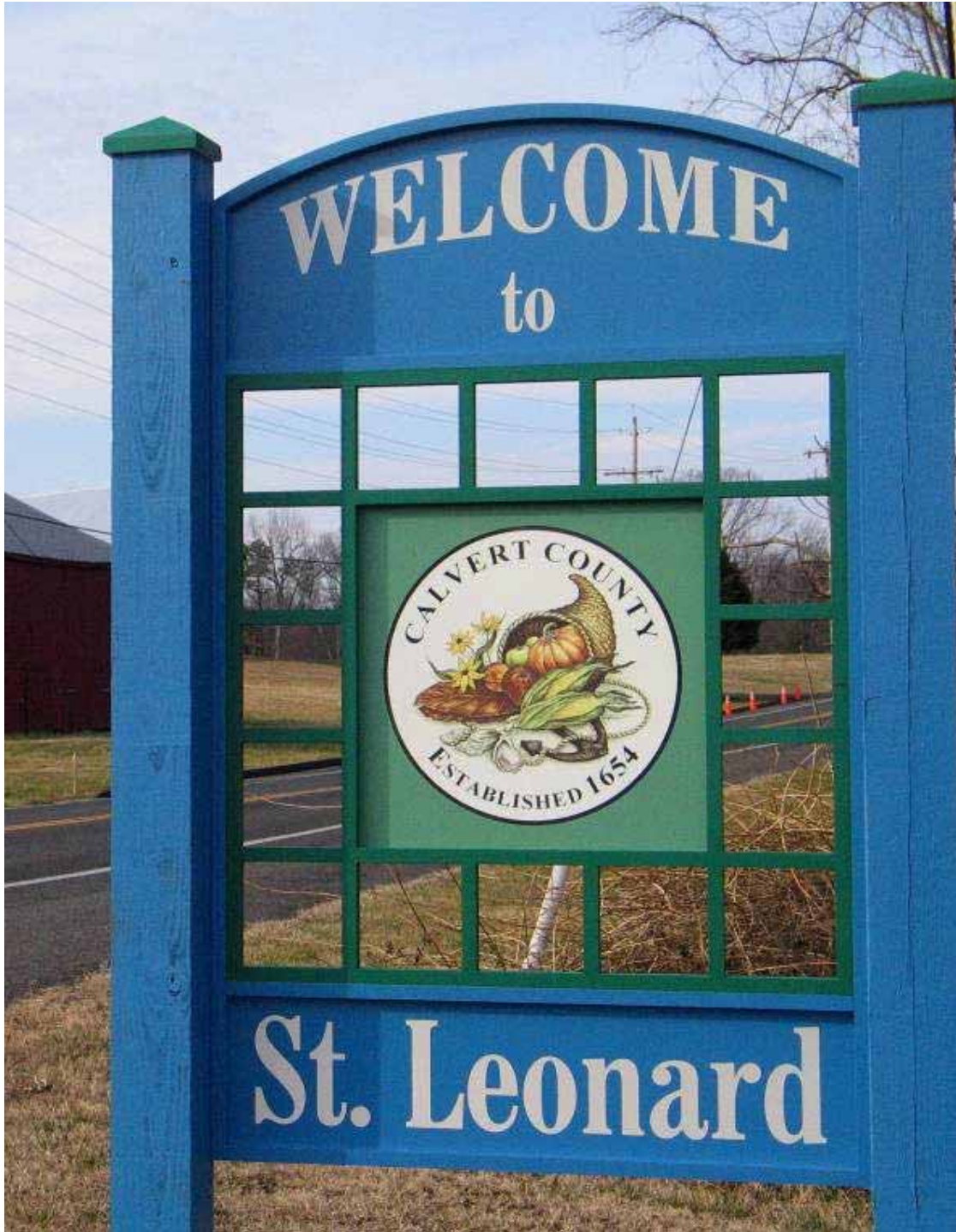
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Along Rt 765 within Subarea B the intent is to maintain and reinforce the existing "old town" pattern development which features a row of individual buildings lined up next to each other along a sidewalk

# Residential District

- Intent is to maintain an attractive landscape, protect sensitive areas, and protect the existing rural residential character of the area



## **St. Leonard Accomplishments**

# St. Leonard Streetscape



09/05/2007

# Roundabout



09/05/2007

# Dowell House Community Center





*St. Leonard's Polling House.  
Photo by John Douglas Parran 4/21/04*

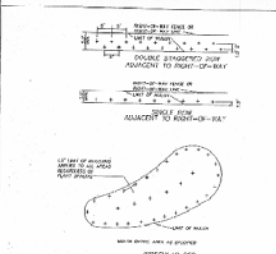
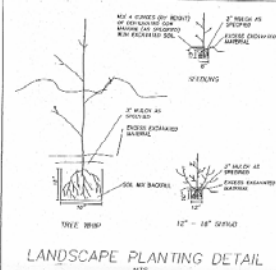
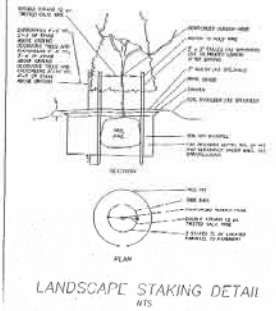
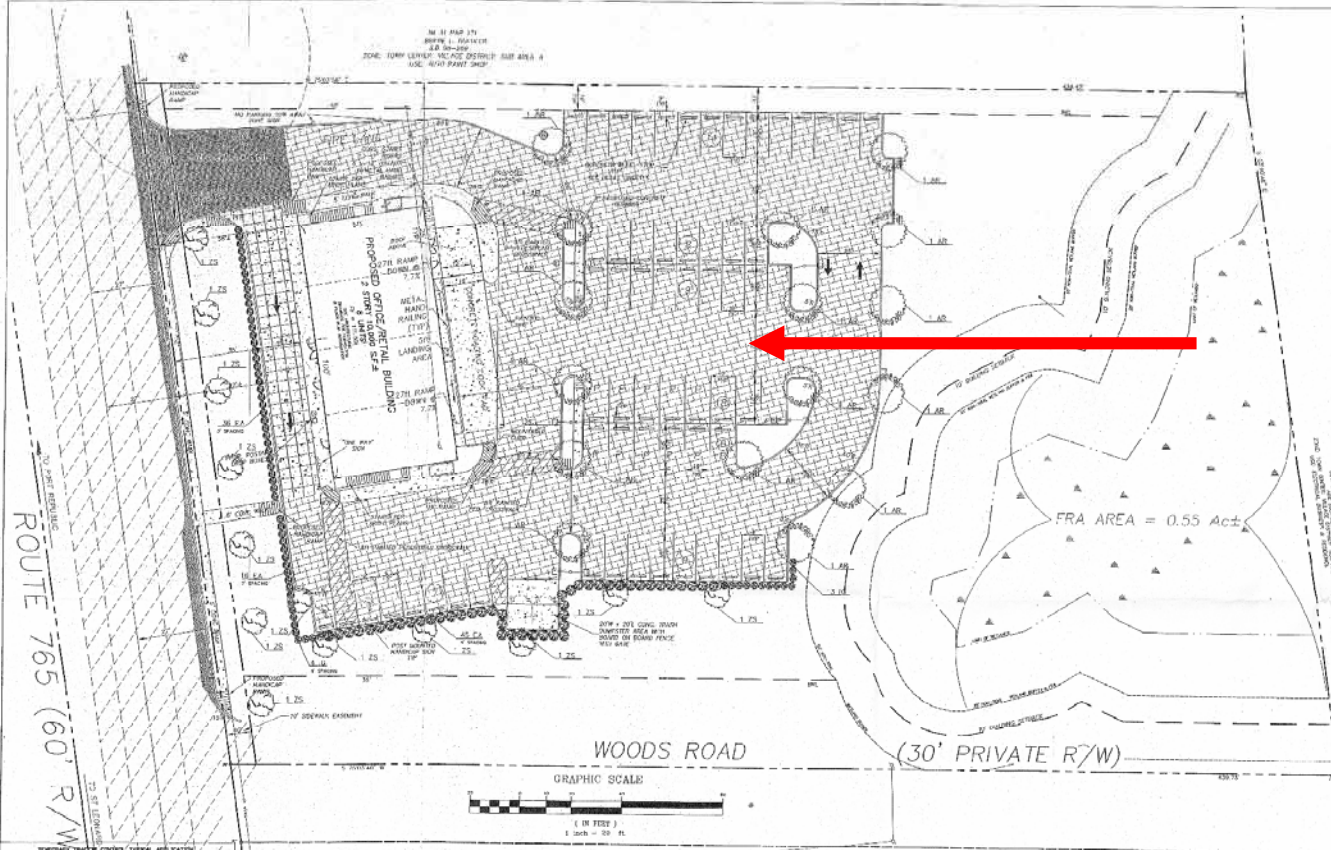
# Polling House Park

THE GARDEN  
OF  
REMEMBRANCE

09/05/2007



## New Post Office in Town Center

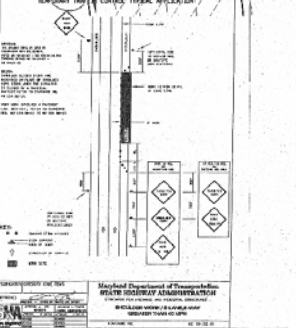


NOTES:  
 1. NO TREE SHALL BE PLANTED OTHER THAN THAT SPECIFIED UNLESS OTHERWISE NOTED BY THE OWNER.  
 2. PLANTING OF TREES SHALL BE COMPLETED BY 10/15/2005.

**LANDSCAPE SCHEDULE**

NO.	SYMBOL	PLANT SPECIES	SIZE	QUANTITY	SPACING
1	(Symbol)	DOGWOOD	1 1/2" x 1 1/2" x 10'	10	10' x 10' @ 10'
2	(Symbol)	DOGWOOD	1 1/2" x 1 1/2" x 10'	10	10' x 10' @ 10'
3	(Symbol)	DOGWOOD	1 1/2" x 1 1/2" x 10'	10	10' x 10' @ 10'
4	(Symbol)	DOGWOOD	1 1/2" x 1 1/2" x 10'	10	10' x 10' @ 10'
5	(Symbol)	DOGWOOD	1 1/2" x 1 1/2" x 10'	10	10' x 10' @ 10'

1. THE SCHEDULE SHALL BE INTERPRETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UNIFORM PLANTING SPECIFICATIONS.  
 2. ALL PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UNIFORM PLANTING SPECIFICATIONS.  
 3. PLANTING SHALL BE COMPLETED BY 10/15/2005.  
 4. PLANTING SHALL BE COMPLETED BY 10/15/2005.  
 5. PLANTING SHALL BE COMPLETED BY 10/15/2005.



**NOTES:**  
 1. THE MAY PUBLIC PARKING AT THE FRONT OF THE PROPOSED BUILDING SHALL BE EXTENDED THROUGH THE USE OF CONCRETE WHEEL STOPS OR OTHER MATERIALS AS APPROVED BY THE SITE PLANNING SECTION. SELECTION OF THE MATERIAL IS THE RESPONSIBILITY OF THE DEVELOPER.  
 2. IF CONCRETE IS USED IN THE TRAILER WAY A ONE FOOT BY FIVE FOOT STRIP OF CONCRETE SHALL BE USED TO INDICATE THE LOCATION OF THE TRAILER WAY.  
 3. THE PROPOSED DEVELOPMENT IS EXEMPT FROM THE REQUIRED 10% BUILDING SETBACK FROM THE EDGE OF PARKING OF ANY TYPE FOR THIS PROJECT DUE TO THE FACT THAT THE NEW BUILDING IS BEING CONSTRUCTED WITHIN THE ORIGINAL ZONING'S NON-CONFORMING BUILDING SETBACK AND WITHIN A ZONING OF NON-CONFORMING OF THE ORIGINAL ZONING.  
 4. IF PLANTING IS REQUIRED ONLY TO BE PLANTED WITHIN THE 10% SETBACK AREA ONLY (2) SETBACKS ON THE WEST SIDE OF THE PROPOSED BUILDING AREA SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY. THESE MATERIALS SHALL BE REPLANTED AT THE TIME OF FUTURE PARKING AREA CONSTRUCTION.

**PARKING LEGEND**  
 H HANDICAP  
 P PUBLIC VEHICLE

**SITE PLAN NOTES**  
 1. ALL NEW PLANT ARE TO BE 10' UNLESS OTHERWISE NOTED.  
 2. ALL 10' x 10' CURB MATERIAL TO BE CONCRETE.  
 3. HANDICAP PARKING SPACES SHALL BE 10' x 10' UNLESS OTHERWISE NOTED.  
 4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.  
 5. EXISTING TREES SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY.  
 6. ALL EXISTING TREES SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY.  
 7. ALL EXISTING TREES SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY.  
 8. ALL EXISTING TREES SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY.  
 9. ALL EXISTING TREES SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY.  
 10. ALL EXISTING TREES SHALL BE PLANTED WITHIN THE 10% SETBACK AREA ONLY.

**GROSS REFERENCE LIST**  
 CONW SHEET  
 SITE, LAYOUT & LANDSCAPE PLAN  
 GRAVITY, SEWERAGE & EROSION CONTROL PLAN  
 SIGNAGE FOR MANAGEMENT DETAILS & SPECIFICATIONS  
 UTILITY SECTIONS, PROFILES AND DETAILS  
 UTILITIES & SPECIFICATIONS

**COLLINSON, OLTF & ASSOCIATES, INC.**  
 Surveyors - Engineers  
 Land Planners

**ST. LEONARD POST OFFICE**  
 4244 ST. LEONARD ROAD (RD ROUTE 765)  
 FIRST DISTRICT, CALVERT COUNTY  
 ST. LEONARD, MARYLAND

**FOR: WEANS CUSTOM BUILDING, INC.**

THIS STAMP IN RED COLOR INDICATES ORIGINAL

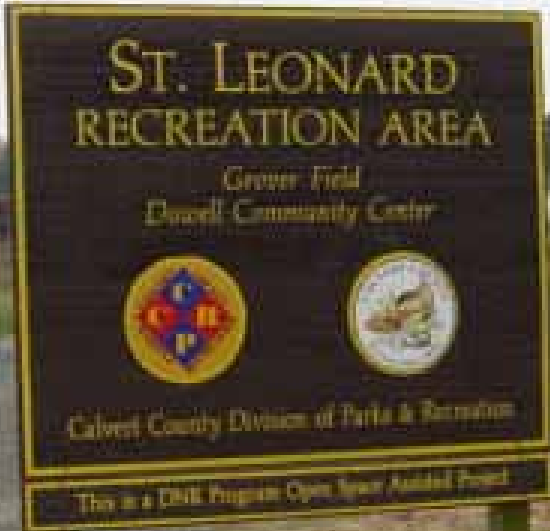
SHEET NO. 2 OF 5  
 FILE NO. B - 34 - 2 A

St. Leonard Post Office has parking in the rear, as required by the Zoning Ordinance

# Fire Department Addition



Water Tower



Recreation Area

Ball Road and Calvert Beach lights, installed in late 1997 at the intersection of Rt. 2-4 now have left turn arrows



# Additional Recommended Actions from Master Plan

- Change the Calvert County Road Ordinance to conform to the road sections in this plan
- Acquire land for parking lots, including a park-n-ride
- Construct a second access route to 765 from beach communities

# Additional Recommended Actions from Master Plan, cont.

- Explore water and sewerage alternatives
- Construct a bus stop with shelter and benches
- Provide bike racks at all three town parks
- Construct Town Square and Meeting Hall



**Needed Improvements Identified  
by  
Citizens at Public Forum in 2004**

*St. Leonard Polling House  
Circa 1920*

# Additional Improvements Identified by Citizens at Public Forum in 2004

- Business Development
- Community Center (and greater opportunity for community activities)
- Recreation Master Plan



# Additional Improvements Identified by Citizens at Public Forum in 2004, cont.

- Public Events
- Beautification
- Promote Local Artists
- Infrastructure
- Sidewalks and Bike paths



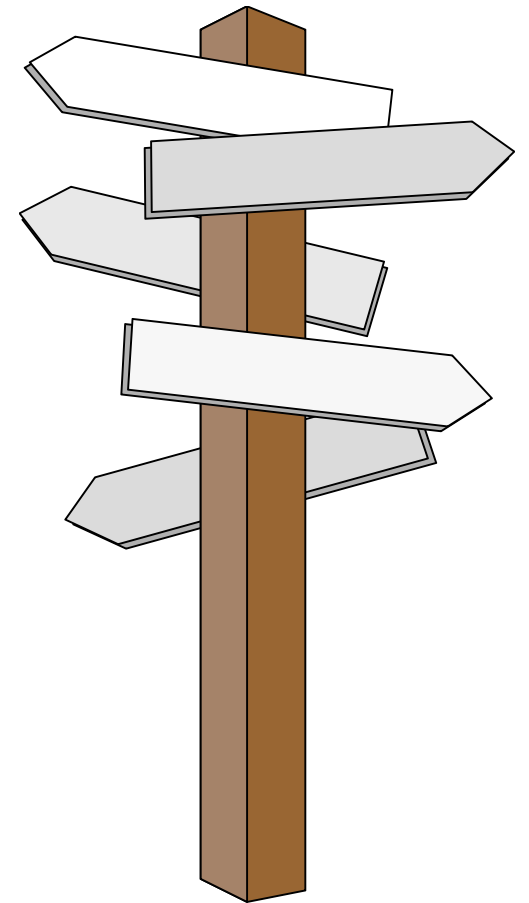
# Small Group Discussion



*St. Leonard Polling House  
Circa 1920*

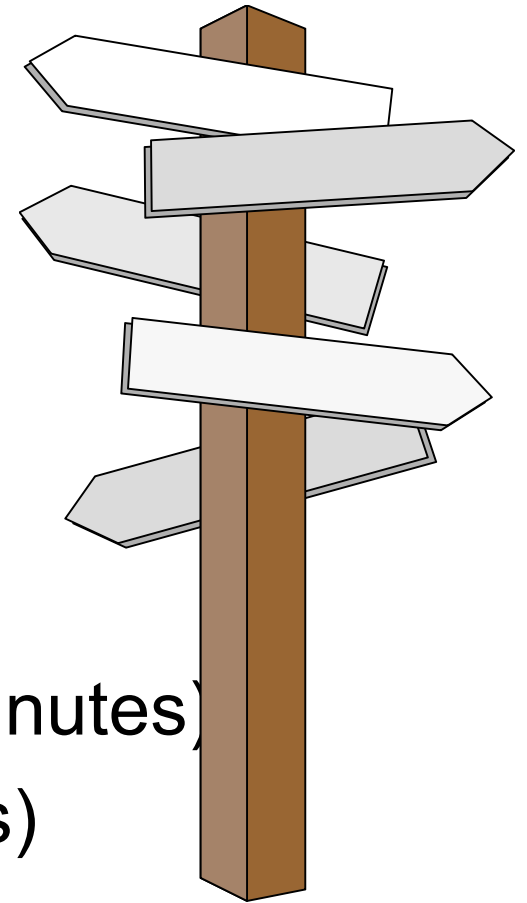
# Group Discussion Instructions

- Split into small groups
- Participation Rules
  - Everyone participates
  - Listen carefully
  - Open and honest discussion
  - Don't interrupt the speaker
  - No one dominates
  - Respect different views



# Group Discussion Instructions

- “Assignments:”
  - Review existing Master Plan goals
    - Add, subtract, refine (20 minutes)
  - Identify concerns
    - Add, subtract, refine (35 minutes)
  - Groups report on assignments (20 minutes)
  - Individuals vote with dots (15 minutes)





## Contact Information

Calvert County Planning and Zoning

150 Main Street

Prince Frederick MD 20678

410-535-2348

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[www.co.cal.md.us](http://www.co.cal.md.us)