

## HOW TO USE THIS CODE

To find the development standards that apply to a particular property, the following steps should be taken:

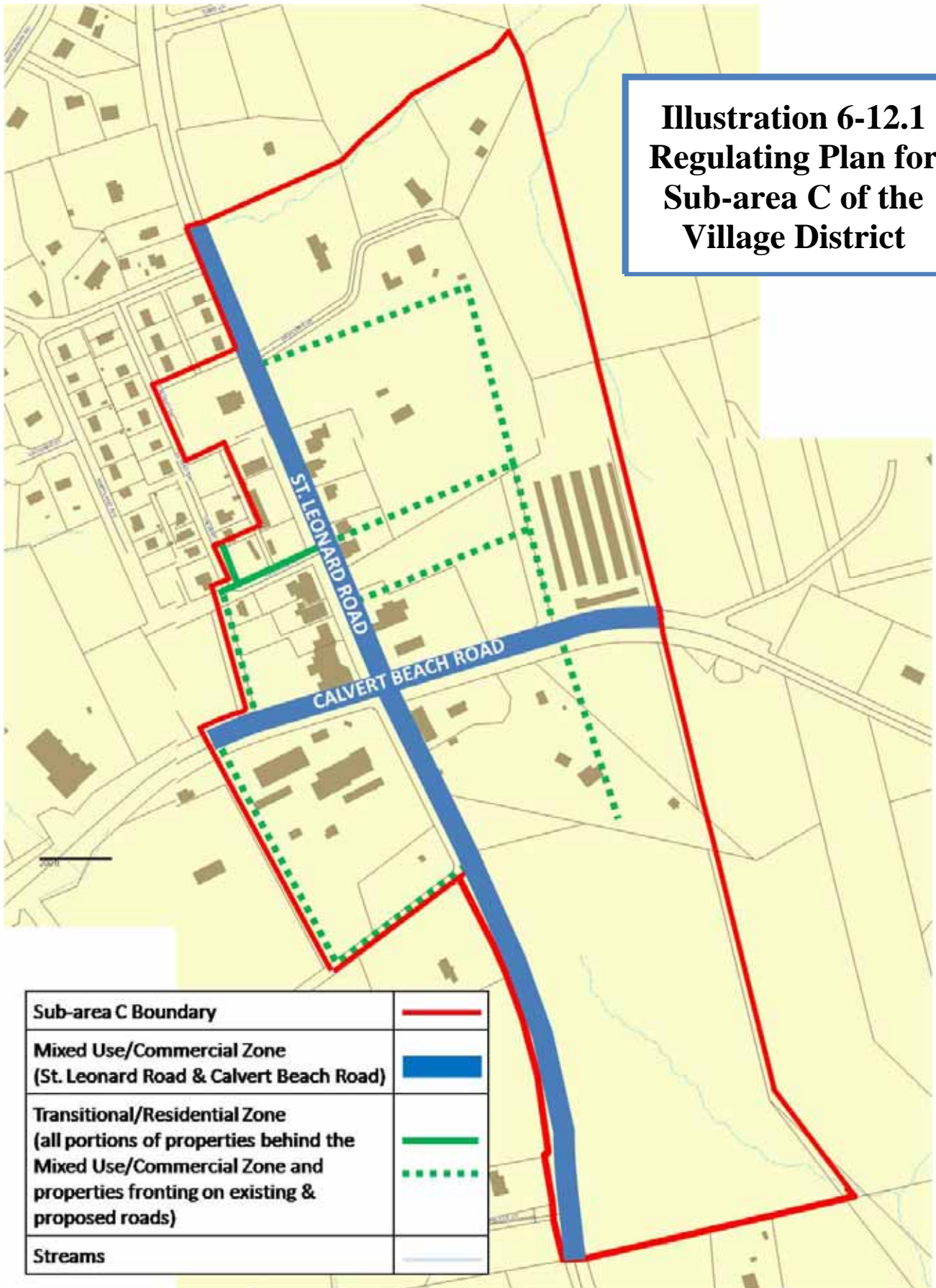
1. Locate the subject property on the Regulating Plan (Section 6-12.03 and Illustration 6-12.2).
2. Determine the Zone for the property:
  - a. Properties with frontage on St. Leonard Road and Calvert Beach Road are located in the **Mixed Use/Commercial Zone**.
  - b. All portions of properties behind the Mixed Use/Commercial Zone and properties with frontage on existing and proposed roads are designated **Transitional/Residential Zone**.
3. If the property is in the **Mixed Use/Commercial Zone**:

Refer to Section 6-12.04 for development standards, including permitted land uses (listed in Section 6-12.04.H)
4. If the property is in the **Transitional/Residential Zone**:

Refer to Section 6-12.05 for development standards, including permitted land uses (listed in Section 6-12.05.H).
5. Refer to Section 6-12.06 for development requirements that apply to **all properties** in Sub-area C.

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**Illustration 6-12.1  
Regulating Plan for  
Sub-area C of the  
Village District**



## 6-12.01 Purpose and General Provisions

### A. Purpose

The purpose of this Form-Based Code is to implement the land use policies and actions of the St. Leonard Master Plan, one of which states:

*“Consider establishing a form-based code in the St. Leonard Zoning Ordinance for the commercial core of the Village District, to create a small, pedestrian-oriented downtown feel, limited to retail, restaurant, personal service, office and mixed uses.”*

Specific priorities identified in the Master Plan for this area include the following and are addressed in this Form-Based Code:

1. Consider a development bonus for desired public benefit, such as preferred uses, design features, public spaces, etc.
2. Encourage a mix of uses.
3. Encourage residential units to be co-located with commercial uses.
4. Continue to require buildings along Route 765 in the commercial core to be located at the “build-to-line” so that buildings are located near the public street
5. Reinforce the village character and encourage pedestrian circulation by encouraging building designs with public entrances from the sidewalk/public street and discouraging building designs with no public access from the sidewalk/public street.
6. Consider expanding the types of residential uses permitted in the Village District.

### B. Intent

1. Along Route 765 within Sub-area B C the intent is to maintain and reinforce the existing “old town” pattern of development which features a row of individual buildings lined up next to each other along a sidewalk. (See Illustration 6-12.2, Pattern of Development).
2. It is the intent of this Form-Based Code to create a high-quality “public realm” by focusing on the form of buildings, rather than the use of the buildings. The public realm is defined as the space created by the front facades of closely-space buildings lined up along both sides of a tree-lined sidewalk and street, which is attractive and inviting to pedestrians.



Illustration 6-12.2, Pattern of Development  
(excerpt from pg. 34 of current St. Leonard ZO)

C. General Provisions

1. The provisions of this Form-Based Code apply to Sub-area C of the Village District of the St. Leonard Town Center, as depicted on the Official Zoning Map.
2. In addition to the requirements contained in this Section, all properties in Sub-area C shall comply with the Appearance Code requirements contained in Section 6-7 of this Ordinance, the Environmental Regulations contained in Article 8, and the Plot Plan/Site Plan requirements of Article 4 of this Ordinance and Calvert County Zoning Ordinance. All signs are subject to the requirements of Section 6-8 of this Ordinance.
3. If a regulation from other Sections of the St. Leonard Town Center Zoning Ordinance or the Calvert County Zoning Ordinance conflicts with the requirements of this Form-Based Code, this Code shall take precedence over the other regulations.
4. Development in Sub-area C shall be based upon the Regulating Plan, which specifies the building envelope, build-to line, etc. (See Section 6-12.03 and Illustration 6-12.2).

6-12.02 Non-conforming Uses, Signs and Structures

- A. The provisions of Section 2-5 of this Ordinance apply to all non-conforming uses located in Sub-area C.
- B. Non-conforming signs shall be subject to Section 6-8.02.K of this Ordinance.
- C. The provisions of Section 2-5 of this Ordinance apply to non-conforming structures except that the following provisions apply to structures fronting on St. Leonard Road and Calvert Beach Road if the front façade does not conform to this Form-Based Code. A non-conforming front façade shall be brought into conformance with the requirements of this Code to the greatest extent feasible in the following instances:
  1. when expansion of 25 percent or more of the gross floor area of the structure is proposed. This requirement shall be cumulative (e.g., a one-time expansion of 10 percent would not require conformance; however, an additional expansion of more than 15 percent would require that the front façade of the building be brought into conformance).
  2. when major renovation and/or remodeling of the front façade is proposed, Routine maintenance such as painting of siding or in-kind replacement of doors, windows, or roofs is not considered major renovation or remodeling. The Planning Commission or its designee shall make the determination as to whether a proposed renovation or remodeling is considered major and warrants conformance with this Code. The Planning Commission or its designee may seek a recommendation from the Architectural Review Committee prior to such a determination being made.

6-12.03 Regulating Plan (See Illustration 6-12.1)

- A. All properties within Sub-area C of the Village District shall be developed in accordance with the Regulating Plan as described in this Section (see Illustration 6-12.1), the Standards specified in Section 6-12.03 (for properties along St. Leonard Road and Calvert Beach Road) and 6-12.04 (for all other properties), as well as 6-12.05 (Development Requirements Applying to All Properties in Sub-area C).
- B. Properties with both mixed use and residential buildings shall not be required to be subdivided unless developing as single-family detached residences. Single-family detached residences shall be located on individual lots and subdivided in accordance with Article 7 (Subdivision Regulations) of the Calvert County Zoning Ordinance.

6-12.04 Development Standards for the Mixed Use/Commercial Zone (properties fronting on St. Leonard Road and Calvert Beach Road)

- A. Mixed Use/Commercial Zone. As shown on the Regulating Plan, properties with frontage on Route 765 (St. Leonard Road) and Calvert Beach Road within Sub-area C shall be developed with mixed use and/or commercial buildings on the front portion of the property that borders on St. Leonard Road and/or Calvert Beach Road. The primary intent of this requirement is to:
1. continue the current pattern of closely-space commercial buildings lined up along the sidewalks, which enhances this area as a vibrant, pedestrian-oriented downtown;
  2. require buildings to be constructed at the Build-to-Line (BTL) with public entrances along the sidewalk;
  3. reinforce the “drawing power” of businesses in the area to make the commercial core of the Town Center a destination for residents and visitors;
  4. reduce dependence on vehicles while increasing convenience for pedestrians and bicyclists.
  5. require retail and restaurant uses on the first floor, with offices, other commercial uses, and/or residential uses above to provide a lively mix of uses as well as creating an attractive, convenient place to live, work, and shop.

B. Building Size

No single building footprint shall exceed 10,000 square feet.

**BONUS:** The footprint may be expanded to no more than 15,000 square feet if the building is certified either LEED Silver or Green Globe designation. The minimum footprint of any building constructed at the front build-to line shall be no less than 1000 square feet. All front buildings shall be at least two stories in height.

C. Building Location and Orientation (See Illustration 6-12.3)

1. Commercial and/or mixed use buildings shall be constructed at the front of the property along St. Leonard Road and Calvert Beach Road on the Build-To Line (BTL). The BTL is established as the interior edge of the sidewalk; or the front property line.  
Exception: The Planning Commission or its designee may allow a building to be constructed behind the BTL in the following instances:
  - a. if additional space is required for utility easements; or
  - b. if Health Department requirements for the septic system require the building to be located elsewhere on the property; or
  - c. environmental constraints such as steep slopes are present along the front of the property.
2. At least 80 percent of the front building wall shall be located on the BTL. The percentage of the building constructed on the BTL may be reduced to 50 percent if a public courtyard or outdoor patron area is provided in front of the building.
3. The front building wall shall include the main entrance to the building. Porches are permitted, but shall be no more than 15 feet in depth.
4. Loading docks, overhead doors, and other service entries are prohibited on the street-facing façade.
5. Cantilevered canopies and awnings are permitted to overhang the sidewalk but shall not obstruct the walkway or interfere with sight distance for vehicles. The lowest portion of any awnings positioned over sidewalks shall be at least 10 feet above the sidewalk.

6. When more than one building is constructed on a site, the buildings shall be separated an adequate distance to provide pedestrian access between the buildings and to allow for maintenance of the buildings.

D. Building Setbacks

1. Front Build-to Line (BTL): see sub-paragraph 'B' of this Section.
2. Side and Rear Setbacks adjacent to commercial, mixed use, and attached residential buildings: 5 feet. The Planning Commission or its designee may reduce the setback to 0 feet if the following conditions are met:
  - a. maintenance is addressed; and
  - b. emergency vehicle access is addressed and approved by the Dept. of Public Safety; and
  - c. the adjoining property has a compatible use, or written approval is received from all owners of properties that share a boundary along which a setback reduction is proposed; and
  - d. existing screening is determined to be adequate or that adequate screening will be provided.
3. Side and Rear Setbacks adjacent to existing single-family detached residential buildings: 40 feet.

E. Building Elevation and Height Requirements

1. The maximum height of buildings shall be measured from the average elevation of the finished grade at the front of the building to the highest point of the roof.
2. Minimum Height at Build-to Line: 2 stories.  
Maximum Height at Build-to Line: 3 stories.
3. The first floor of any building constructed at the BTL shall be elevated no more than 6 inches above the adjacent sidewalk at the front of the building.
4. Exception: For commercial, mixed use, and attached residential buildings located 40 feet or less from a single-family detached residential lot, the maximum eave or parapet height for that portion of the building shall be 30 feet.



Illustration 6-12.3, Building Elevation, Height & Façades

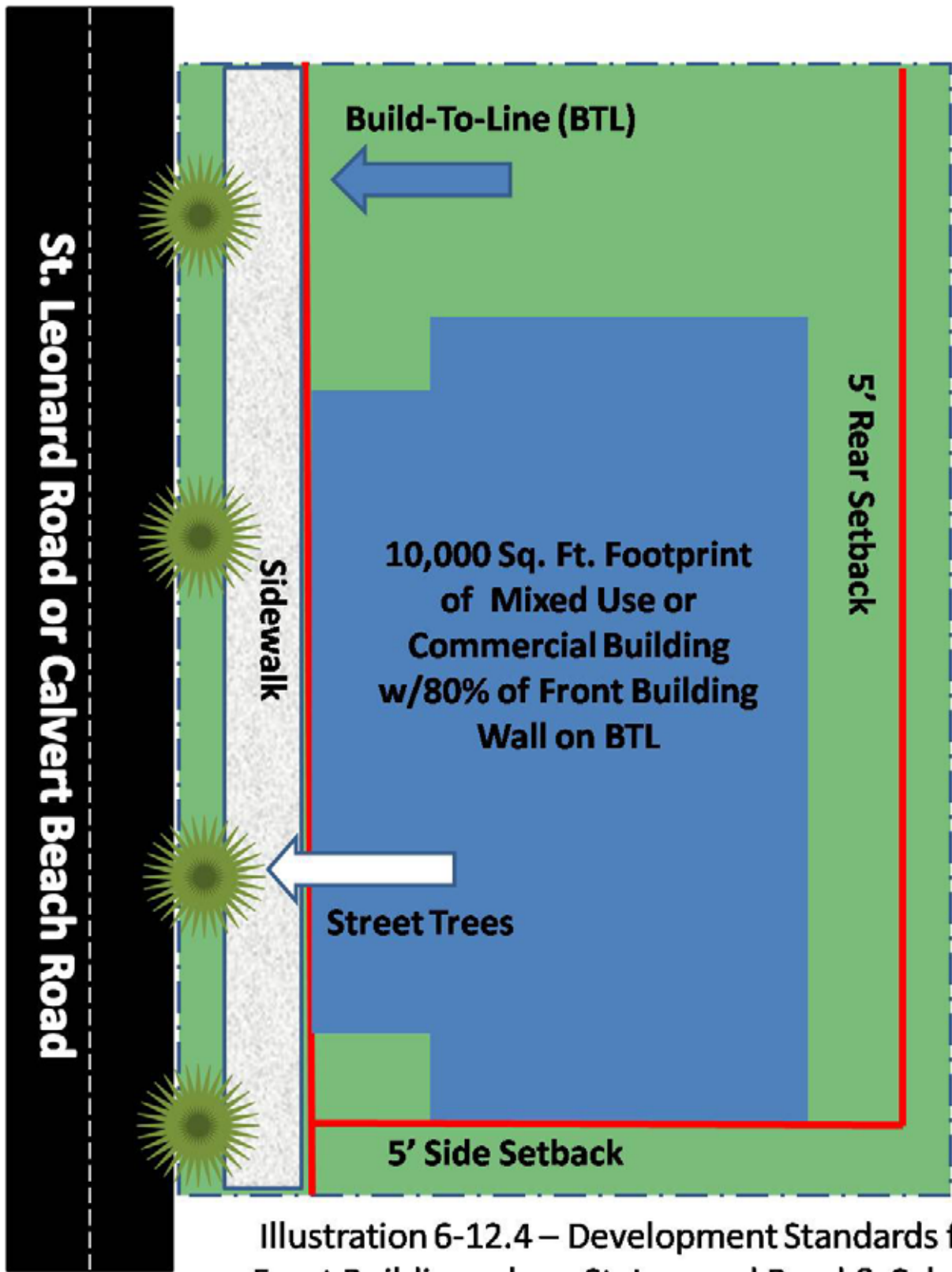
F. Building Façades

Building façades shall conform to Section 6-7 (Appearance Code) of this Ordinance. In addition, the following conditions apply to the street-facing façade of all buildings constructed at the BTL:

1. windows and doors shall cover at least 65 percent; and
2. no front walls shall be blank (with no windows or doors) for more than 20 linear feet.

G. Lot Size and Lot Coverage

There are no minimum lot sizes or maximum lot coverage requirements other than the limitations which result from the imposition of maximum density requirements, setbacks, and buffers.



**Illustration 6-12.4 – Development Standards for Front Buildings along St. Leonard Road & Calvert Beach Road (Mixed Use/Commercial Zone)**

**NOT TO SCALE**

H. Permitted Land Uses in the ~~Transitional/Residential Zone~~ Mixed Use/Commercial Zone

A mix of uses is encouraged in Sub-area C of the Village District, particularly those uses which will draw visitors to the area. The general use categories listed below are based on the Table of Land Uses contained in Section 3-1 of this Ordinance. Conditions are imposed, where necessary, to achieve the goals of the St. Leonard Master Plan and the objectives of this Form-Based Code. Certain uses are prohibited as indicated below.

1. Agritourism, Eco-Tourism, and Heritage Tourism Uses (See Section 3-1.01). The majority of these uses are intended to be located on farms. Therefore, only “Heritage Trail Displays” are permitted in Sub-area C of the Village District, subject to the condition that the heritage trail display shall conform to standards established by the National Park Service.
2. Agricultural Uses (See Section 3-1.02). The majority of these uses are intended to be located on farms. Therefore, they are not permitted in Sub-area C.
3. Residential Uses (See Section 3-1.03). Single-family detached dwelling units are not encouraged in Sub-area C. Attached dwelling units or multi-family dwelling units in mixed-use developments better fit with the purpose of these regulations in that they consume less land and provide a variety of housing in the center of town. The following conditions apply to residential uses in Sub-area C, in addition to conditions specified in Section 3-1.03 for individual uses:
  - a. The maximum density shall not exceed that which is permitted by Section 5-1.08 of this Ordinance.
  - b. Single-family detached residences shall be located on individual lots.
  - c. Residential uses with no commercial component shall not be located within 250 feet of St. Leonard Road and Calvert Beach Road. Such uses are only permitted in the Transitional/Residential Zone (behind the mixed use/commercial zone).
  - d. Manufactured homes shall not be permitted.
4. Commercial Retail Uses (See Section 3-1.04). Most commercial retail uses are permitted and are subject to the conditions specified in Section 3-1.04. The following additional conditions apply:
  - a. No drive-up or drive-through facilities shall be permitted.
  - b. The following uses, which require large indoor or outdoor display areas, shall be prohibited:
    - i. Agricultural Machinery, Service and/or Supplies;
    - ii. Boat Dealership;
    - iii. Manufactured Home Dealer;
    - iv. Retail Commercial Sale or Display Area; Outdoor
5. Business and Personal Services Uses (See Section 3-1.05). Most Business and Personal Service uses are permitted and are subject to the conditions specified in Section 3-1.05. The following additional conditions apply:
  - a. No drive-up or drive-through facilities shall be permitted.
  - b. Outdoor Patron Areas shall be subject to the conditions of Section 3-2.05.
  - c. Adult Entertainment Businesses are not permitted.
6. Recreation Uses (See Section 3-1.06). Only Indoor Recreation Uses are permitted and are subject to the conditions specified in Section 3-1.06.

7. Commercial Wholesale Uses (See Section 3-1.07). Commercial Wholesale Uses are prohibited.
8. Motor Vehicle and Related Services Uses (See Section 3-1.08). Motor Vehicle and Related Service Uses are prohibited except:
  - a. One Inoperative Vehicle per lot.
  - b. Parking of Commercial Vehicles, subject to the conditions of Section 3-1.08 of this Ordinance.
9. Industrial Uses (See Section 3-1.09). Industrial Uses are prohibited except:
  - a. Research and Development (Environmental and Other), subject to the conditions of Section 3-1.09 of this Ordinance.
  - b. Power Generating Facilities Accessory to a Business or Residence, subject to the conditions of Section 3-1.09 of this Ordinance.
10. Institutional Uses (See Section 3-1.10). Some Institutional Uses are permitted, subject to the conditions specified in Section 3-1.10. The following Institutional Uses are prohibited:
  - a. College or University.
  - b. Day Care Centers with more than 12 clients.
  - c. Elementary or Secondary School.
  - d. Fire and/or Rescue Service
  - e. Hospital
  - f. Nursing or Convalescent Home
  - g. Solid Waste Collection Site, Non-Government
  - h. Temporary Structure Incidental to Schools (classroom relocatables)
  - i. Wastewater Treatment Facility
  - j. Water Treatment Facility
11. Unclassified Uses (See Section 3-1.11). Some Unclassified Uses are permitted, subject to the conditions specified in Section 3-1.11. The following Unclassified Uses are prohibited:
  - a. Airport or Landing Field
  - b. Communications Towers. Antennas may be permitted subject to the requirements of Section 3-3 of the Calvert County Zoning Ordinance.
  - c. Heliport
  - d. Livestock kept as pets, unless kept entirely indoors.
  - e. Model Home
  - f. Temporary Structure Incidental to Sales or Rentals in New Residential or Commercial Developments (sales trailers)
  - g. Temporary Recreational Vehicle at Construction site (for watchman)
  - h. Unoccupied Recreational Vehicle
  - i. Wild or Dangerous Animals

## 6-12.05 Development Standards for the Transitional/Residential Zone

- A. Transitional/Residential Zone. This zone is comprised of all portions of properties behind the Mixed Use/Commercial Zone, as well as properties fronting on existing and proposed side roads (excluding St. Leonard Road and Calvert Beach Road). Additional mixed use and/or commercial buildings, as well as residential buildings, are permitted behind the commercial and mixed use buildings that adjoin St. Leonard Road and Calvert Beach Road (as described in sub-paragraph 'C' of this Section). Such uses are also permitted as front buildings on all existing and proposed side roads. The primary intent of this requirement is to:
1. aid in fulfilling the St. Leonard Master Plan objective of creating a pedestrian-oriented commercial core;
  2. provide an area in the center of the town available for lower-intensity commercial uses and higher-density residential uses that are compatible with the mixed use/commercial uses lining the streets;
  3. expand the housing types permitted and direct residential growth to the Town Center, away from farming and forestry areas, thereby preserving the rural character; and
  4. provide a transition area between the commercial core and the lower-density residential areas on the northern and southern ends of the Town Center.
- B. Building Size

No single building footprint shall exceed 10,000 square feet.

**BONUS:** The footprint may be expanded to no more than 15,000 square feet if the building is certified either LEED Silver or Green Globe designation. The minimum footprint of any building constructed at the front build-to line shall be no less than 1000 square feet. All front buildings shall be at least two stories in height.

- C. Building Location and Orientation (See Illustration 6-12.4)
1. The Build-to Line, as described in Section 6-12.03.B, is optional along existing and proposed side roads. New buildings or additions to existing buildings should align with other buildings along these roads.
  2. The front building wall shall include the main entrance to the building. Porches are permitted.
  3. Loading docks, overhead doors, and other service entries are prohibited on the street-facing façade.
  4. Cantilevered canopies and awnings are permitted to overhang the sidewalk but shall not obstruct the walkway or interfere with sight distance for vehicles. The lowest portion of any awnings positioned over sidewalks shall be at least 10 feet above the sidewalk.
  5. When more than one building is constructed on a site, the buildings shall be separated an adequate distance to provide pedestrian access between the buildings and to allow for maintenance of the buildings.
- D. Building Setbacks
1. Minimum Front Setback: Build-to Line (BTL) or alignment with adjacent buildings.  
Maximum Front Setback: 25 feet

2. Side and Rear Setbacks adjacent to commercial, mixed use, and attached residential buildings: 5 feet. The Planning Commission or its designee may reduce the setback to 0 feet if the following conditions are met:
  - a. maintenance is addressed; and
  - b. emergency vehicle access is addressed and approved by the Dept. of Public Safety; and
  - c. the adjoining property has a compatible use, or written approval is received from all owners of properties that share a boundary along which a setback reduction is proposed; and
  - d. existing screening is determined to be adequate or that adequate screening will be provided.
3. Side and Rear Setbacks adjacent to existing single-family detached residential buildings: 40 feet.

E. Building Elevation and Height Requirements

1. The maximum height of buildings shall be measured from the average elevation of the finished grade at the front of the building to the highest point of the roof.
2. Minimum Height at Front of Building: 1 story.
3. Maximum Height of all Buildings: 3 stories plus a habitable roof, not to exceed 50 feet.
4. Exception: For commercial, mixed use, and attached residential buildings located 40 feet or less from a single-family detached residential lot, the maximum eave or parapet height for that portion of the building shall be 30 feet.

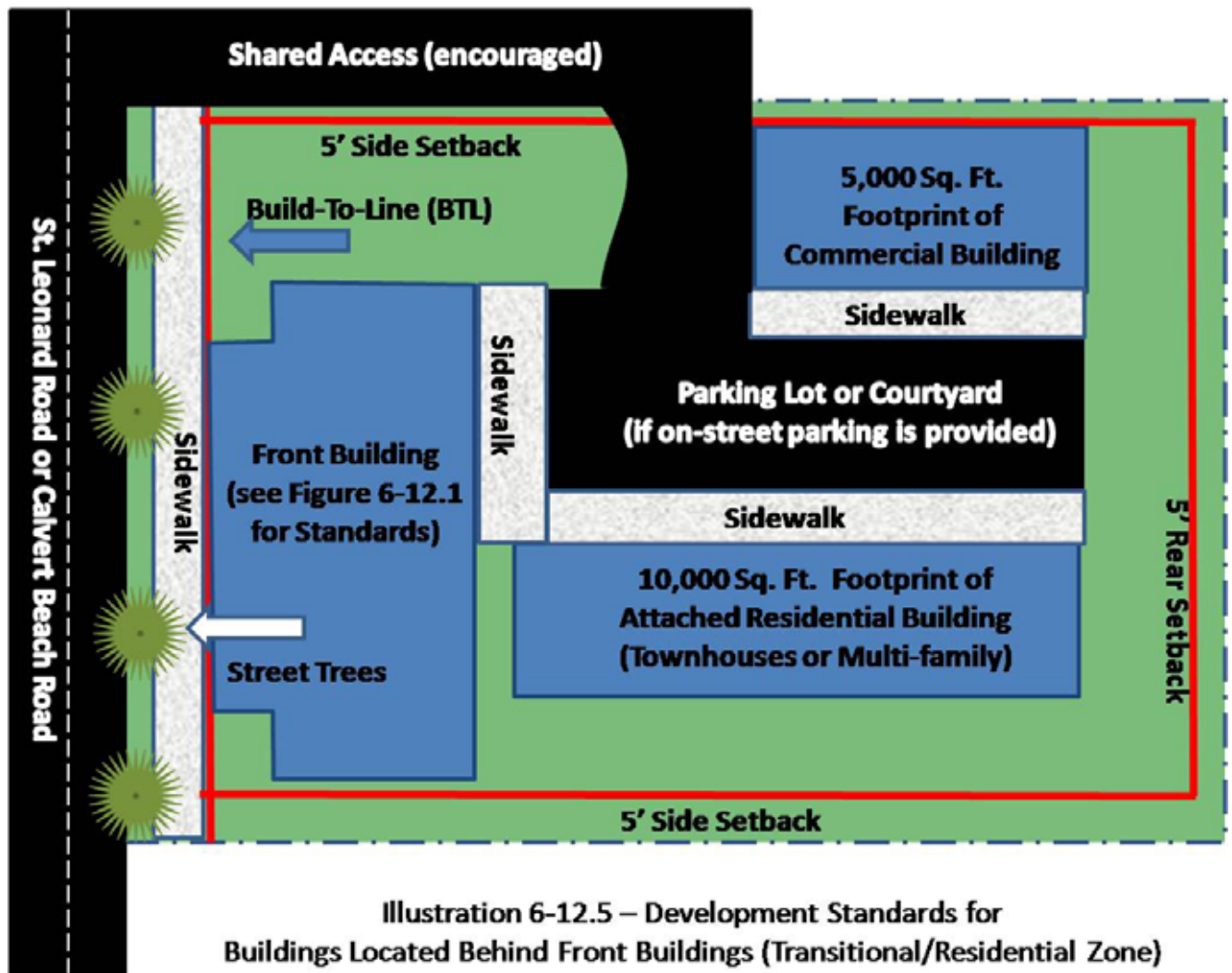
F. Building Façades

Building façades shall conform to Section 6-7 (Appearance Code) of this Ordinance. In addition, the following conditions apply to the street-facing façade of all commercial and mixed use buildings constructed at the front of the property:

1. windows and doors shall cover at least 65 percent; and
2. no front walls shall be blank (with no windows or doors) for more than 20 linear feet.

G. Lot Size and Lot Coverage

There are no minimum lot sizes or maximum lot coverage requirements for commercial, mixed use buildings or attached residential buildings, other than the limitations which result from the imposition of maximum density requirements, setbacks, and buffers. See Section 5-1.08 of this Ordinance for minimum lots sizes imposed for single-family detached residences.



H. Permitted Land Uses for the Transitional/~~Mixed-Use~~ Residential Zone

A mix of uses is encouraged in Sub-area C of the Village District, particularly those uses which will draw visitors to the area. The general use categories listed below are based on the Table of Land Uses contained in Section 3-1 of this Ordinance. Conditions are imposed, where necessary, to achieve the goals of the St. Leonard Master Plan and the objectives of this Form-Based Code. Certain uses are prohibited as indicated below.

1. Agritourism, Eco-Tourism, and Heritage Tourism Uses (See Section 3-1.01). The majority of these uses are intended to be located on farms. Therefore, only “Heritage Trail Displays” are permitted in Sub-area C of the Village District, subject to the condition that the heritage trail display shall conform to standards established by the National Park Service.
2. Agricultural Uses (See Section 3-1.02). The majority of these uses are intended to be located on farms. Therefore, they are not permitted in Sub-area C.
3. Residential Uses (See Section 3-1.03). Single-family detached dwelling units are not encouraged in Sub-area C. Attached dwelling units or multi-family dwelling units in mixed-use developments better fit with the purpose of these regulations in that they consume less land in this Sub-area and provide a

variety of housing in the center of town. The following conditions apply to residential uses in Sub-area A, in addition to conditions specified in Section 3-1.03 for individual uses:

- a. The maximum density shall not exceed that which is permitted by Section 5-1.08 of this Ordinance.
  - b. Single-family detached residences shall be located on individual lots.
  - c. Residential uses with no commercial component shall not be located within 250 feet of St. Leonard Road and Calvert Beach Road.
  - d. Manufactured homes shall not be permitted.
4. Commercial Retail Uses (See Section 3-1.04). Most commercial retail uses are permitted and are subject to the conditions specified in Section 3-1.04. The following uses, which require large indoor or outdoor display areas, shall be prohibited:
- a. Agricultural Machinery, Service and/or Supplies;
  - b. Boat Dealership;
  - c. Manufactured Home Dealer
5. Business and Personal Services Uses (See Section 3-1.05). Most Business and Personal Service uses are permitted and are subject to the conditions specified in Section 3-1.05. The following additional conditions apply:
- a. Outdoor Patron Areas shall be subject to the conditions of Section 3-2.05.
  - b. Adult Entertainment Businesses are not permitted.
6. Recreation Uses (See Section 3-1.06). The following Recreation Uses are permitted and are subject to the conditions specified in Section 3-1.06.
- a. Commercial or Non-Profit Meeting Hall, Banquet Hall
  - b. All Indoor Commercial Uses
  - c. Outdoor Recreation Facilities
7. Commercial Wholesale Uses (See Section 3-1.07). Commercial Wholesale Uses are prohibited.
8. Motor Vehicle and Related Services Uses (See Section 3-1.08). The following Motor Vehicle and Related Service Uses are permitted and are subject to the conditions specified in Section 3-1.08:
- a. Automobile Filling Stations (with or without Convenience Store and/or Eating Establishment)
  - b. Automobile Repair/Service Shop (with or without fuel sales)
  - c. Car Wash
  - d. Motor Vehicle Accessory Shop
  - e. One Inoperative Vehicle per lot.
  - f. Parking of Commercial Vehicles
9. Industrial Uses (See Section 3-1.09). Industrial Uses are prohibited except:
1. Research and Development (Environmental and Other), subject to the conditions of Section 3-1.09 of this Ordinance.
  2. Power Generating Facilities Accessory to a Business or Residence, subject to the conditions of Section 3-1.09 of this Ordinance.

10. Institutional Uses (See Section 3-1.10). Most Institutional Uses are permitted, subject to the conditions specified in Section 3-1.10. The following Institutional Uses are prohibited:
  1. Solid Waste Collection Site
  2. Wastewater Treatment Facility
  3. Water Treatment Facility
11. Unclassified Uses (See Section 3-1.11). Some Unclassified Uses are permitted, subject to the conditions specified in Section 3-1.11. The following Unclassified Uses are prohibited:
  1. Airport or Landing Field
  2. Communications Towers. Antennas may be permitted subject to the requirements of Section 3-3 of the Calvert County Zoning Ordinance.
  3. Heliport
  4. Livestock kept as pets, unless kept entirely indoors.
  5. Temporary Structure Incidental to Sales or Rentals in New Residential or Commercial Developments (sales trailers)
  6. Temporary Recreational Vehicle at Construction site (for watchman)
  7. Wild or Dangerous Animals

6-12.06 Development Requirements Applying to All Properties in Sub-area C

A. Parking

The intent of these parking requirements is to encourage a “park once” environment that will enable visitors to conveniently park and access a variety of commercial enterprises in a pedestrian-friendly environment. Wherever feasible, parking lots and driveway entrances to parking lots shall be shared. However, permanent easements shall be recorded.

1. On-street parking is permitted along all local roads within this ~~district~~ Sub-area designed in accordance with the St. Leonard Road Standards shown in the Master Plan and along Route 765 within Sub-area B C. Businesses fronting on Route 765 within this ~~district~~ Sub-area may include the parking spaces directly in front of their buildings as part of their total parking lot requirement.

<p>Option 1A: Use wording from current St. Leonard Z.O.</p>	<p>2. <u>The St. Leonard Master Plan proposes that up to <del>two</del> <b>one</b> public parking lots be acquired and developed within the Town Center. Businesses within this <del>district</del> Sub-area shall meet their parking space requirements by buying space within <b>the</b> public parking lots at a fee determined by the Board of County Commissioners.</u></p>
<p>Option 1B: Proposed wording re: public parking.</p>	<p>2. Due to the amount of public parking currently available in the Town Center (on-street, the Dowell House, and the St. Leonard Recreation Area), the number of parking spaces required may be reduced as indicated in Sub-paragraph ‘4’ of this Section.</p>

3. No on-site parking shall be permitted between the street and any building constructed at the front Build-to Line. In the event public parking spaces are not available, on-site parking lots shall be permitted provided that they are located in back of any buildings fronting on a public roadway except in the following instances:

- a. The Planning Commission or its designee may allow a parking lot to be located along the side of a building if doing so will improve vehicular circulation and the parking lot will be adequately screened from adjoining

properties and the road. Parking lots located along the side of a building shall be set back at least 20 feet behind the front of the building.

- b. A parking garage may be provided beneath the rear of a building as long as the height of the building from the street side does not exceed the requirements of this Section and the parking garage is not visible from the road.

4. Number of parking spaces required:

<p><b>Option 2A:</b> Waive parking for a certain square footage of commercial floor area constructed after Z.O. is adopted (TBD)</p>	<p>a. Based on the amount of public parking available in the Town Center, no parking is required for the first ___ square feet of net commercial floor area constructed after the date of adoption of this Ordinance (___/___/10).</p>
<p><b>Option 2B:</b> Allow parking requirements to be reduced by a percentage (TBD)</p>	<p>a. Based on the amount of public parking available in the Town Center, the parking requirements contained in Section 6-3 of this Ordinance and the Calvert County Zoning Ordinance shall be reduced by ___ percent for all new commercial development constructed after the date of adoption of this Ordinance (___/___/10).</p>

- b. Three parking spaces are required for all detached dwelling units, and two parking spaces are required for all other dwelling units.

**BONUS:** Only one parking space is required for each dwelling unit that qualifies as workforce housing (see Section 5-1.08 of this Ordinance).

B. Loading, Unloading and Trash Boxes

- 1. Designated loading and unloading spaces are prohibited in Sub-area C of the Village District.
- 2. Property owners are encouraged to share trash boxes. Trash boxes shall be positioned and screened so that they are not visible from the adjoining street.

C. Pedestrian Access

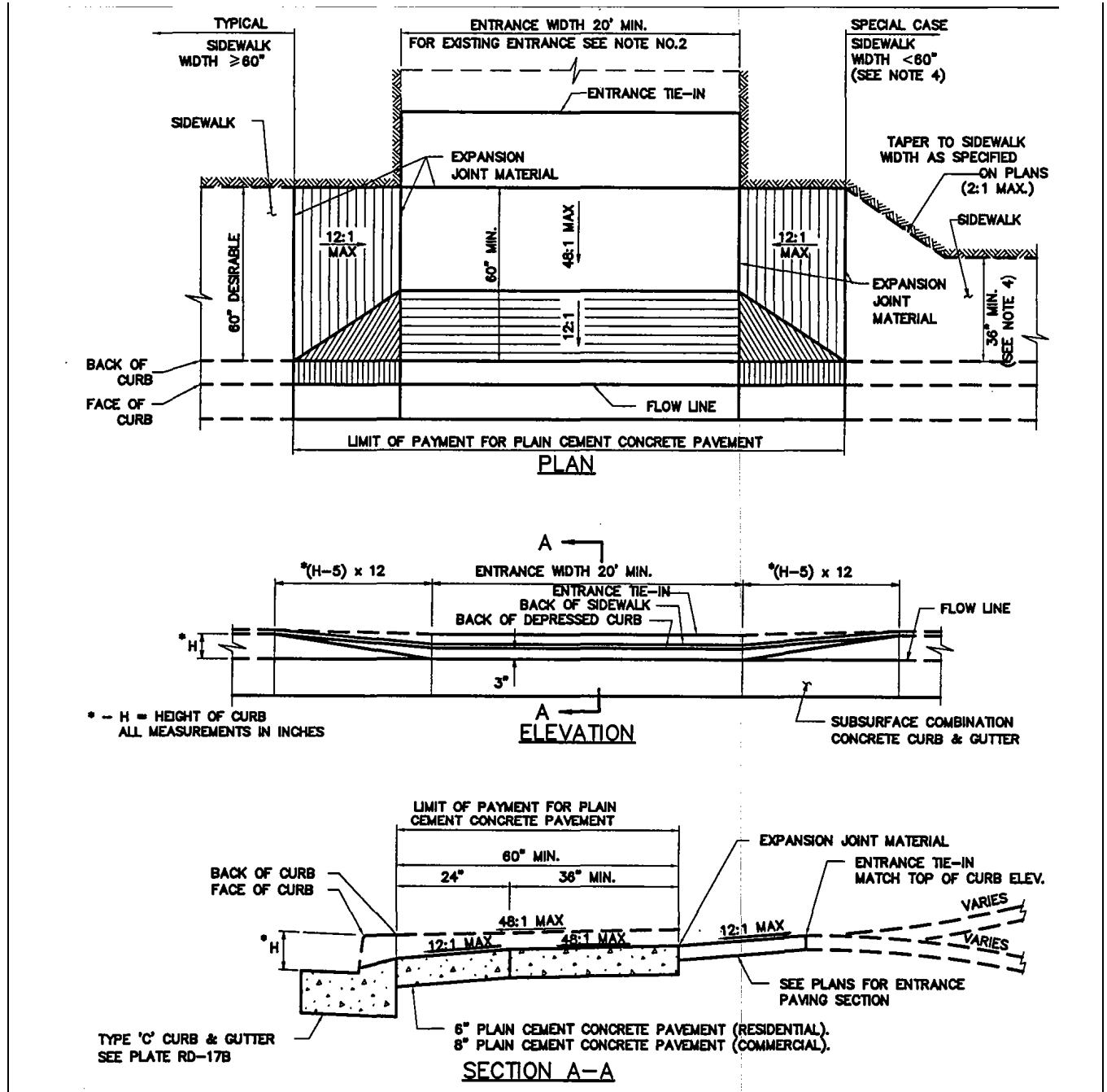
Sidewalks shall be provided in accordance with the St. Leonard Town Center Master Plan. Sites shall be designed to be pedestrian-friendly and to:

- 1. discourage pedestrians and vehicles from sharing the same pathways; and
- 2. provide for bicycle access; and
- 3. promote access for persons with disabilities in compliance with the Maryland Accessibility Code (MAC); and
- 4. indicate pedestrian walkways by a change in pavement surface and/or height and a narrowing of the travel lanes; and
- 5. provide dedicated pedestrian walkways between multiple buildings on a single site and from parcel line to parcel line along the road frontage; and

D. Vehicular Access

- 1. Sharing of driveways is encouraged. To encourage a pedestrian scale of development, narrow driveways (minimum width of 16 feet) are permitted and encouraged. **(See Illustration 6-12.4)**
- 2. If access to the development is proposed over one or more adjacent properties, a permanent access easement shall be recorded among the Land Records of Calvert County. A copy of the easement shall be submitted with the site plan or plot plan application.

3. **Illustration 6-12.6** shall be used to design new entrances serving Sub-area C of the Village District.



**ILLUSTRATION 6-12.6**

**Notes:**

1. For use in areas where there is sidewalk adjacent to the back of curb or where it is expected that sidewalk will be added in the future.
2. When an existing entrance is less than 20' in width, a uniform taper shall be constructed to tie into the existing entrance as directed by the Engineer.
3. Expansion joint material to be installed in accordance with STD. MD-655.01 (current as amended).
4. Where 60" sidewalk cannot be provided, 36' minimum may be used as long as passing zones are provided in accordance with STD. MD-655.02 (current as amended).
5. Subbase 6" Graded Aggregate B.

E. Landscaping & Screening

1. In order to enhance the streetscape in Sub-area C, all areas along the fronts of buildings adjacent to St. Leonard Road and Calvert Beach Road shall be heavily landscaped with flowering plants and shrubs where feasible.
2. Heavy landscaping is required surrounding all outdoor patron areas and additional screening may be required, as per Section 6-5.06 of this Ordinance.
3. The requirements of the Tree Ordinance (Section 8-4 of this Ordinance) shall be met.
4. Air conditioning units and other utilities serving the front building shall be located to the rear and screened so that they are not visible from the road.

F. Outdoor Lighting

All outdoor lighting shall be installed in accordance with Section 6-6 of the Calvert County Zoning Ordinance as well as the Appearance Code of this Ordinance (Section 6-7).